



**PROPOSED RESIDENTIAL DEVELOPMENT
BIRMINGHAM ROAD, HATTON,
WARWICKSHIRE**

TECHNICAL REPORT

APRIL 2016

REPORT REF: 20586/04-16/4327



**PROPOSED RESIDENTIAL DEVELOPMENT
BIRMINGHAM ROAD, HATTON,
WARWICKSHIRE**

TECHNICAL REPORT

APRIL 2016

REPORT REF: 20586/04-16/4327

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ENGINEER: Mewies Engineering Consultants
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.....
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CONTENTS

- 1.0 INTRODUCTION
- 2.0 HIGHWAYS AND TRANSPORT
- 3.0 FLOOD RISK AND DRAINAGE
- 4.0 NOISE
- 5.0 LAND CONTAMINATION
- 6.0 UTILITIES
- 7.0 SUMMARY

APPENDICES

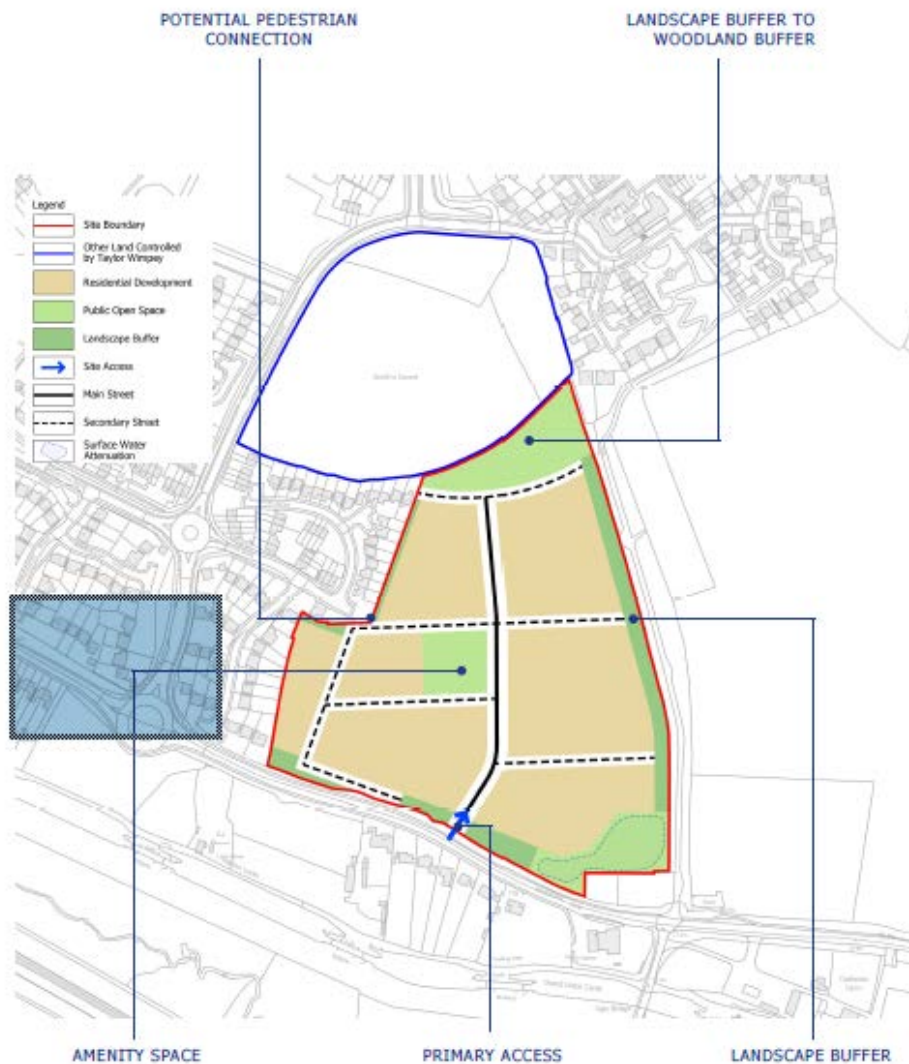
- A. SITE LOCATION PLAN
LOCAL PLAN ALLOCATION
- B. HIGHWAY BOUNDARY DATA
- C. DRAWING 20586_08_020_01 PROPOSED DEVELOPMENT ACCESS LAYOUT
- D. DRAWING 20586_08_010_01 KEY LOCAL FACILITIES & PEDESTRIAN CATCHMENT PLAN
- E. DRAWING 20586_08_010_02 LOCAL PUBLIC TRANSPORT ACCESSIBILITY PLAN
- F. DRAWING 20586_01_230_01 PRELIMINARY DRAINAGE STRATEGY
- G. HISTORICAL MAPS
- H. APPARATUS PLANS

1.0 INTRODUCTION

1.1 Mewies Engineering Consultants Ltd (M-EC) has been commissioned by Taylor Wimpey UK Ltd to produce this Technical Report in support of the continued promotion of Land off Birmingham Road, Hatton and its suitability for residential development. A site location plan is provided in Appendix A.

1.2 The site is allocated in the emerging Warwick Local Plan for 120 dwellings and the site area is shown on the Local Plan allocations plan for Hatton contained in Appendix A. The total proposed developable area, excluding the Smith’s Covert to the north, measures 7.61ha and a proposed Framework Plan for the site is shown in Figure 1 below.

Figure 1: Proposed site Framework Plan



- 1.3 The site is bounded by Birmingham Road to the south, Ugly Bridge Road to the east, Smith's Covert to the north and an existing residential area to the west focused on Ebrington Drive. Importantly all sides of the site have logical and permanent boundaries, which sensibly add to the built form of Hatton Park. Hatton is located approximately 3.5km south east of Warwick. The site is currently in agricultural use and centred within grid reference 425447, 266602.
- 1.4 As part of this report the following technical disciplines have been considered:
- Highways and Transportation
 - Flood Risk and Drainage
 - Noise
 - Land Contamination
 - Utilities
 - Preliminary Construction and Environmental Management Plan
- 1.5 All work is based on initial observations however; further technical work will be required to support any future planning application. For the purpose of this appraisal we have assumed deliver of the site in isolation and therefore not reliant on wider land options.
- 1.6 M-EC has completed this report for the benefit of the individuals referred to in paragraph 1.1 and any relevant statutory authority which may require reference in relation to approvals for the proposed development. Other third parties should not use or rely upon the contents of this report unless explicit written approval has been gained from M-EC.
- 1.7 The report has been prepared using published information and information provided by the Client which was made available at the time of writing only. No liability is extended to any information which has become available since this time. Third parties using information contained in this report do so at their own risk.
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 - b) The issue of this document to any third party with whom approval for use has not been agreed.

2.0 HIGHWAYS AND TRANSPORTATION

Access

- 2.1 Access to the land would be achieved from Birmingham Road where footways of varying width (approximately 1.5m to 2.5m) and a carriageway of approximately 7m in width are available. A verge with a ditch separates the site from the footway along the northern side of Birmingham Road. Birmingham Road is subject to a 40mph speed limit (although actual speeds may be higher based on the nature of the road) and street lighting is noted. A footway is also located on the southern side of the carriageway in similar width to that of the northern footway.
- 2.2 Highway boundary data has been purchased from Warwickshire County Council and highlights Birmingham Road, the ditch and footway as being adopted. It is also noted that part of the site falls within adopted highway at the south eastern boundary of the site. A copy of these plans can be found in Appendix B.
- 2.3 Discussions have been undertaken with Warwickshire County Council over the provision of access from Birmingham Road. Access will take the form of a T-junction with right turn lane and an initial design has been prepared and is shown on drawing 20586_08_020_01, in Appendix C. The size of the right turn lane and associated junction visibility splays are based on the subjected speed limit of 40mph and these can be accommodated accordingly. A speed survey will be completed in due course to ensure no significant design variations will occur if speeds are higher than the subject speed limit. As part of the design new footways will be provided from the site onto Birmingham Road.
- 2.4 Good permeability within the site through inter-connecting streets will be provided as well as connections into surrounding areas. Wider connections will include:
- Ebrington Drive (we note the area between the road and the site is not adopted highway but every effort will be made by Taylor Wimpey to secure pedestrian connections along this route)
 - Ugly Bridge Road (onto the existing footway/cycleway)
 - Birmingham Road (additional connections either side of the access road)

Sustainability

- 2.5 Pedestrian facilities are located to the north and south of the site as outlined on drawing 20586_08_010_01 included in Appendix D.
- 2.6 Local facilities and amenities including a petrol station, convenience shop and village hall are located within a 2km walking distance of the site. The NPPF does not specify specific walking distances but we know 80% of the population will walk up to 1 mile (1.6km) and there has been no empirical evidence to suggest the previous 2km distance stated by PPG13 should not be considered reasonable. On that basis local facilities are considered to be within a reasonable walking distance of the proposed development.
- 2.7 Public transport (service 68) operates directly along Hatton Road and within Hatton Park on a 30 minute frequency, Monday to Saturday. The service, which is operated by Stagecoach, runs between Hatton Park and Cubbington, stopping at a number of locations including Warwick and Warwick Parkway Rail Station. Drawing 20586_08_010_02 in Appendix E highlights the bus routes local to the site and these are within 400m walking distance of the site, although any connections onto Ebrington Drive will enhance connectivity.
- 2.8 Warwick Parkway Rail Station is located circa 2.8km southeast of the site, and can be directly accessed via the 68 bus service. The station, which is managed by Chiltern Railways, provides cycle storage provision and a 24 hour car park. The station can be used as part of a multimodal journey to towns and cities including Birmingham, Leamington Spa and Solihull, all located within an hour commute. Hatton Railway Station is located circa 1.7km from the site to its southwest however no bus service operates to this station.
- 2.9 Formal cycle provision is limited in Hatton as shown in Figure 2 below:
- 2.10 A local cycle route is noted to the south of Birmingham Road along the northern side of the canal which proceeds towards Warwick. Other cycle provision will take place on the local highway network which is deemed suitable to support cycle traffic.

Figure 2: Sustrans Cycle Map



- 2.11 The site is located in a sustainable location with local amenities available connected by pedestrian and cycle route. Good public transport services provide excellent connectivity to Warwick and Warwick Parkway Train Station which enable travel further afield.

Traffic Impact

- 2.12 Discussions with WCC have indicated a Transport Assessment would be required to support any future planning application with the following junctions to be assessed:

- A46/Birmingham Road roundabout
- Old Budbrooke Road/Birmingham Road traffic lights
- Charingworth Drive/Birmingham Road roundabout
- Birmingham Road/B4439 T-junction
- Birmingham Road/A4177/Five Ways Road/Case Lane roundabout

- 2.13 WCC have indicated the Transport Assessment would need to take account of local committed development sites and any committed highway improvements which will includes a growth funded scheme at the A46 roundabout and Old Budbrooke Road signals. As part of the transport work it is likely the development will be assessed using the WCC Warwick Highway Model.

- 2.14 WCC and WDC are aware of the cumulative impact of development in the district and collect monies, via Section 106, to pay for large scale infrastructure improvements on the network. This figure currently stands at £6,000 per dwelling and it is likely this will be requested to offset highway impact from the proposed development.
- 2.15 Suitable mitigation will be provided as part of the development proposals including any identified off site highway works and contributions. All assessment work and consideration of impact will be undertaken in line with the NPPF.

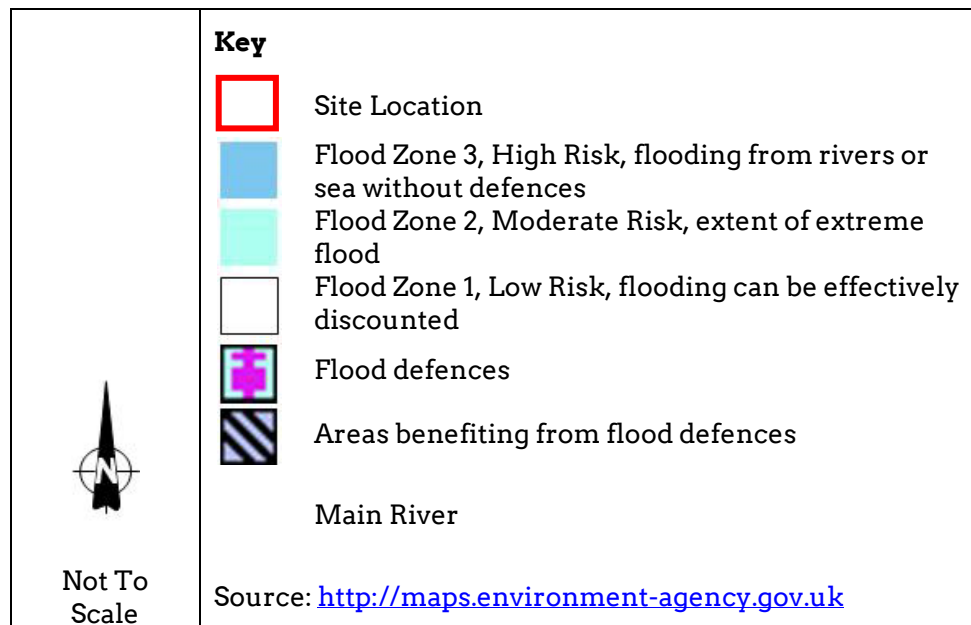
3.0 FLOOD RISK AND DRAINAGE

3.1 The development sites lies in Flood Zone 1 (See Figure 3 below) and is therefore sequentially acceptable for development.

Figure 3: Environment Agency Flood Map for Planning (Rivers and Seas)



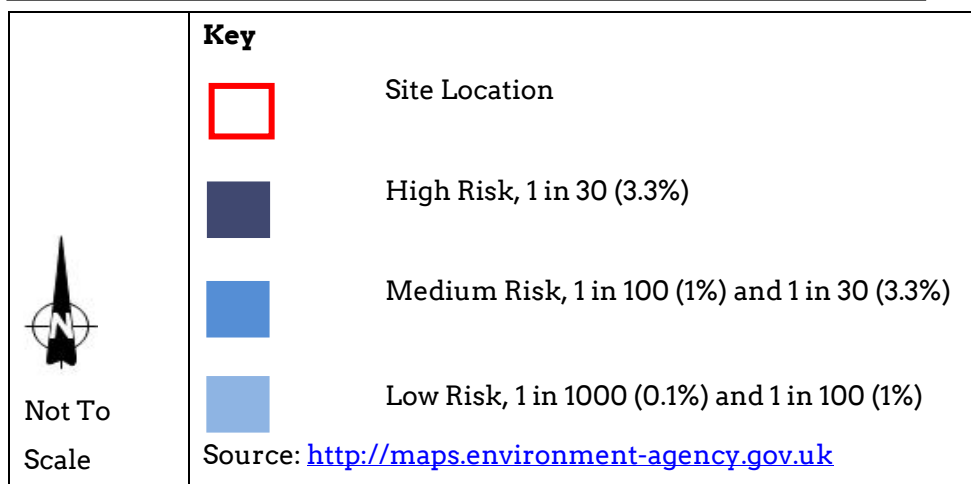
Note: Environment Agency flood maps give guidance on fluvial flood risk only for watercourses with a catchment of greater than 3km². Other information sources should be consulted for flood risk posed by ordinary watercourses with catchments less than 3km²



3.2 The surface water flooding maps (see Figure 4 below) show surface water accumulations occur along the eastern and south eastern boundary of the site following the natural topography towards the Grand Union Canal.

- 3.3 Overland flows route from the south eastern boundary of the site along Birmingham Road before continuing south towards the Grand Union Canal.
- 3.4 Within the boundaries of the site, 'low risk' areas occur across the south eastern boundary with a documented probability of occurrence ranging between 1 in 100 (1%) and 1 in 1000 (0.1%). 'High risk' and 'medium risk' flow areas occur just outside the eastern boundary of the site continuing towards the Grand Union Canal. These flow areas have a probability of occurrence of between 1 in 30 (3.3%) and 1 in 100 (1%) in any given year however, due to the topography of the land, flows proceed away from the site.

Figure 4: Environment Agency Surface Water Flooding Map



- 3.5 The British Geological Survey (BGS) viewer shows the site is underlain by the 'Mercia Mudstone Group' comprising mainly Mudstone with a thin band of Siltstone crossing the southeastern corner of the site. The mudstone strata of the Mercia Mudstone Group overlying the majority of the site are classified as a Secondary (B) Aquifer and the siltstone strata of the Mercia Mudstone Group (south eastern corner) are classified as a Secondary Aquifer. The site is not within 500m of a groundwater source protection zone.
- 3.6 Percolation testing will be undertaken as part of any future planning application.
- 3.7 The site naturally slopes to the southeast with levels of 86.97mAOD falling to 71.95mAOD along the sites south eastern boundary at which this is the lowest point. The site therefore has a difference in topography of 15.02mAOD from the north to the south eastern boundary.
- 3.8 Onsite attenuation would be provided the provision of above ground SuDS features. It is anticipated the majority of this storage would be delivered through a balancing pond in the south eastern area of the site and above an identified surface water sewer as shown on the Severn Trent Water plans contained in Appendix G.
- 3.9 Based on an assumed developable area of 5.74ha (taken from existing concept plans) and assuming a reasonable impermeable area of 60% an estimated storage volume of approximately 2,900m³ for a 1 in 100 year storm event plus 40% for climate change (this takes account of the February 2016 changes). This calculation is based on a discharge rate 14.1 litres per second (QBAR Greenfield Rate is 4.1 l/s/ha). Surface water will outfall either into available ditches or the Severn Trent Water identified in Appendix G.
- 3.10 It is envisaged foul drainage will discharge by gravity to the existing adopted sewer which lies in the junction of Birmingham Road/Ugly Bridge Road to the south east of the site area (see attached plans contained in Appendix G). Detailed investigations with Severn Trent Water will take place in due course. In any event, and in accordance with the Water Industry Act (1990), STW will be required to provide capacity for the development whilst containing environmental impacts and maintaining water quality; therefore improvements to the network will be provided if required.

4.0 NOISE

4.1 If required at the planning application stage, noise impact should be considered and assessed against the following guidance:

- BS8233:2014 'Guidance on sound insulation and noise reduction for buildings'; and
- World Health Organisation (WHO) Guidelines for Community Noise 1999.

4.2 The southern boundary of the site lies directly adjacent to Birmingham Road. Due to the site's close proximity to the carriageway it is considered likely that road traffic will be the dominant noise source at the site, and that noise impact will require consideration as part of any planning application for the site.

4.3 With regard to dwellings closest to Birmingham Road, it is unlikely that standoff distances will be required. However, it is anticipated that rear gardens of dwellings with a line of sight to Birmingham Road would need to be placed at facades facing away from the road, to benefit from screening provided by intervening dwellings.

4.4 Enhanced glazing and ventilation specification may be required at certain locations to protect internal amenity.

4.5 We do not envisage the need for linked frontages on any boundary.

4.6 It is considered unlikely noise will have a significant adverse impact on the development of this site as any sound levels exceeding the recommended thresholds would be dealt with by way of a suitable mitigation strategy.

5.0 LAND CONTAMINATION

5.1 An initial Phase I Environmental Risk Assessment has been completed for the site area and a summary of the findings is outlined in the table below. Copies of the Emapsite Environmental Report can be found in Appendix F.

<p>Site Walkover Findings</p>	<p>The gated access is part of a metalled footway/cycleway route. Adjacent to the access track is a small brick structure (former gas sub-station). Metal gas pipes were observed both within and outside the structure. Beyond the residential properties to the south of the site is the Grand Union Canal.</p> <p>No buildings or areas of burnt ground were observed during the site walkover, although garden waste including grass cuttings were observed to the rear of residential properties, off Ebrington Drive.</p> <p>A manhole, potential soakaway, was observed in the centre of the eastern site boundary.</p>
<p>Regulator Consultations</p>	<p>Information on potentially significant environmental issues may be held on public records by regulatory authorities but is also obtained from the Groundsure database.</p> <p><u>Environment Agency (EA)</u></p> <ul style="list-style-type: none"> • The development is located within 250m of a Flood Zone 2 and 3. Minor flooding, associated with surface water, is shown along the eastern boundary. • There is one landfill (Zaragosa), shown approximately 1km to the south east of the development area. Any risk is considered low due to the distance. • There are no significant pollution incidents or air pollution sites located within 500 m of the site. <p><u>Environmental Data Report</u></p> <ul style="list-style-type: none"> • A fuel station (Shell) is located 37m to the south. • No significant pollution incidents are reported within

	<p>250m of the site.</p> <ul style="list-style-type: none"> • No landfill sites are recorded within 1km of the site. The nearest landfill, Zaragosa, is recorded to be 1103m from the site. • There are seven contemporary trade entries within 250m of the site. With the exception of the two entries for the fuel station, 36m to the south, none are likely to pose a significant risk to the site area. • Deep Made Ground, a potential source of landfill gases, is reported 39m to the north east. <p>Two historic for unspecified pits (Made Ground) are recorded within the site boundaries. Therefore, there is also the potential for unrecorded pits to be present. The fill material is a potential source of contamination, landfill gases and is not a suitable founding medium – if encountered foundation will need to be deepened through the fill.</p>
Site History	<p>The site has historically been shown as unoccupied agricultural land from the earliest recorded maps. The site originally consisted as three fields however, a field boundary was removed in 2002 thus resulting in the site comprising two fields. Buildings only noted on site from the most recent maps.</p>
Geology	<p>The 1:50,000 British Geological Survey (BGS) map, sheet 184 'Warwick' shows no superficial deposits overlying the site. The solid geology underlying the site is the Mercia Mudstone Group (mudstone), although siltstones, also part of the Mercia Mudstone Group are shown in the south east corner of the site.</p>
Hydrogeology	<p>The mudstone strata of the Mercia Mudstone Group overlying the majority of the site are classified as a Secondary (B) Aquifer and the siltstone strata of the Mercia Mudstone Group (south eastern corner) are classified as a Secondary Aquifer.</p> <p>The site is not within 500m of a groundwater source</p>

	<p>protection zone.</p> <p>There are no groundwater or potable water abstractions recorded within 500 m of the site boundary.</p>
Hydrology	<p>The site is within 250m of Zone 2 or Zone 3 Flood zones.</p> <p>There are two references for surface water abstractions within 500m of the site boundary, both entries refer to a location 483m west of the site. Both are point sources associated with Cox Brook and are for spray irrigation and general and domestic farming.</p> <p>There are twenty three Detailed River Network entries within 500m of the site boundary, the nearest being the Grand Union Canal 73m to the south of the site. The remaining entries appear to refer to the stream to the south of the canal and other small streams/drains to the south, north east and west.</p> <p>There are seven entries for surface water features within 250m of the site, which are not shown on the mapping. These are likely to refer to small ponds and a network of small drains to the north east, south east and south of the site.</p>
Radon	<p>It is anticipated that no radon protection measures will be required for the proposed development.</p>
Other issues	<p>A coal authority search has indicated that a mining report is not required for the site.</p>
Environmental sensitivity	<p>Groundwater – Low/moderate</p> <p>Surface water – Low</p> <p>Ecology –Low</p> <p>Flood risk – Low</p>
Statutory Designation	<p>In our opinion, it is unlikely that the site would be designated as statutory contaminated land by the local authority under the provision of Part IIA of the Environmental Protection Act 1990 (inserted by Section 57 of the Environmental Act 1995). A proven “pollution</p>

	<p>linkage” within the definition of causing “significant possibility of significant harm” to people, controlled waters or the environment as defined in the statutory guidance, Edition 2, May 2006 has not been identified at the site.</p>
<p>Recommendations</p>	<p>Completion of a Phase II land quality assessment, planning conditions & financial security. This will be primarily to assess geotechnical issues and to assist in the design of foundations, drainage, underground services, roads etc. However, it is suggested that confirmatory environmental testing (across the site area) including gas monitoring be completed to assess the site conditions and to obtain sufficient data to further refine the conceptual model and environmental risks for submission to the local planning authority.</p>

6.0 UTILITIES

6.1 Apparatus Plans sourced from all local providers have been obtained and a summary is outlined below. Copies of all relevant plans and correspondence can be found in Appendix G. From the information provided there are no significant constraints to development.

Sewers (Foul)

6.2 The sewer records show that a S104 sewer runs along the eastern boundary of the site (in Ugly Bridge Road) connecting to a 525mm public foul sewer to the north of the site and a 225mm public foul sewer to the south of the site over Birmingham Road.

6.3 Further public foul sewers are noted within the residential streets to the west of the site.

Sewers (surface Water)

6.4 A 1200mm sewer is located within the southern half of the site running from east to west. This sewer proceeds to run parallel with the southern boundary of the site before it outfalls to a watercourse noted outside the eastern boundary. A 10m easement will be required from this sewer which will need to be confirmed with STW.

6.5 Further surface water sewers are noted within the residential streets to the west of the site.

Water Mains

6.6 An 8in water main is located along the northern side of Birmingham Road, with a further two water mains located within the carriageway. Diversions may be required to facilitate the site access.

Electricity Cables

6.7 There are existing 11kV high voltage underground cables running along the northern side of Birmingham Road. These cables are likely to require diverting to facilitate any proposed vehicle or pedestrian access into the site from Birmingham Road.

BT

- 6.8 BT underground apparatus is noted along the northern side of Birmingham Road. These cables are likely to require diverting to facilitate any proposed vehicle or pedestrian access into the site from Birmingham Road.

Gas

- 6.9 A 180mm Medium Pressure gas main is located in Birmingham Road and may require diversions to facilitate access. A Low Pressure main is located along the southern side of Birmingham Road however, it is not anticipated that diversions will be required for this main. No National Grid apparatus is located within the site.

7.0 SUMMARY

7.1 This Technical Report has been prepared to assess a proposed residential development on land off Birmingham Road, Hatton. A summary of the key findings is outlined below.

7.2 Highways and Transportation:

- Access can be achieved onto Birmingham Road through the creation of a T-junction with right turn lane.
- The site is located in a sustainable location with local amenities available connected by pedestrian and cycle route. Good public transport services provide excellent connectivity to Warwick and Warwick Parkway Train Station which enable travel further afield.
- Traffic impact at local junctions will need to be assessed however, it is expected the network can accommodate the proposed development. Section 106 monies may be requested to help deliver large scale infrastructure improvements on the network.

7.3 Flood Risk and Drainage:

- The site is located in Flood Zone 1.
- Surface water drainage will be accommodated through the provision of on site attenuation features. Storage in the region of 2,900m³ will be required and discharge is likely to occur into an adjacent surface water sewer.
- Foul flows are likely drain by gravity to the existing sewer network in Birmingham Road to the south east of the site.

7.4 Noise:

- Noise mitigation measures may be required to attenuate external and internal sound levels at the site, depending upon the site layout. It is considered unlikely noise will have a significant adverse impact on the development of this site.

7.5 Land Contamination:

- The site is unlikely to be classified as contaminated land.

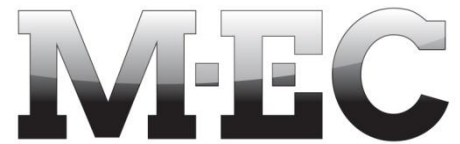
7.6 Utilities:

- Apparatus plans show surface water sewer apparatus running along the southern boundary of the site and a 10m easement will be required.
- Plans also highlight that water mains, 11kV underground electric cables and underground BT telecommunication cables are located along the northern footway of Birmingham Road. A Medium Pressure main is also noted within the carriageway. Diversions will/may be required for this apparatus to facilitate any vehicle or pedestrian access off Birmingham Road.

7.7 In summary, there are no technical constraints to the delivery of 120 dwellings on Land off Birmingham Road, Hatton

APPENDIX A

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LE67 6HP



SITE LOCATION PLAN

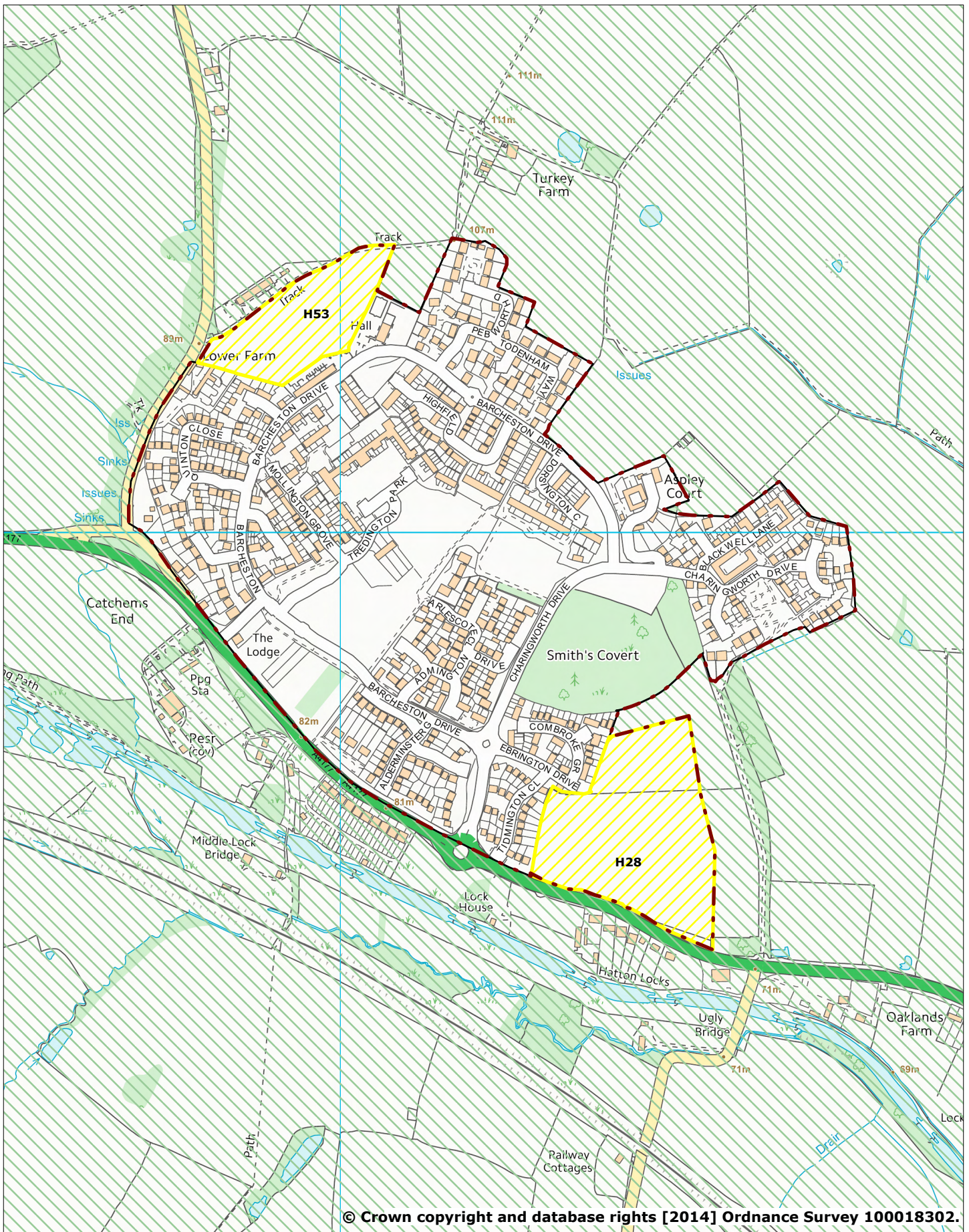
Project: Birmingham Road, Hatton, Warwickshire

File Ref: 20586

O.S. Grid Ref: 425425, 266585

Postcode: CV35 7TF





Key

- WDLP - Green Belt (DS19)
- WDLP - Housing Allocations (DS11)
- Site Ref
- WDLP - Growth Village Envelopes (H10)

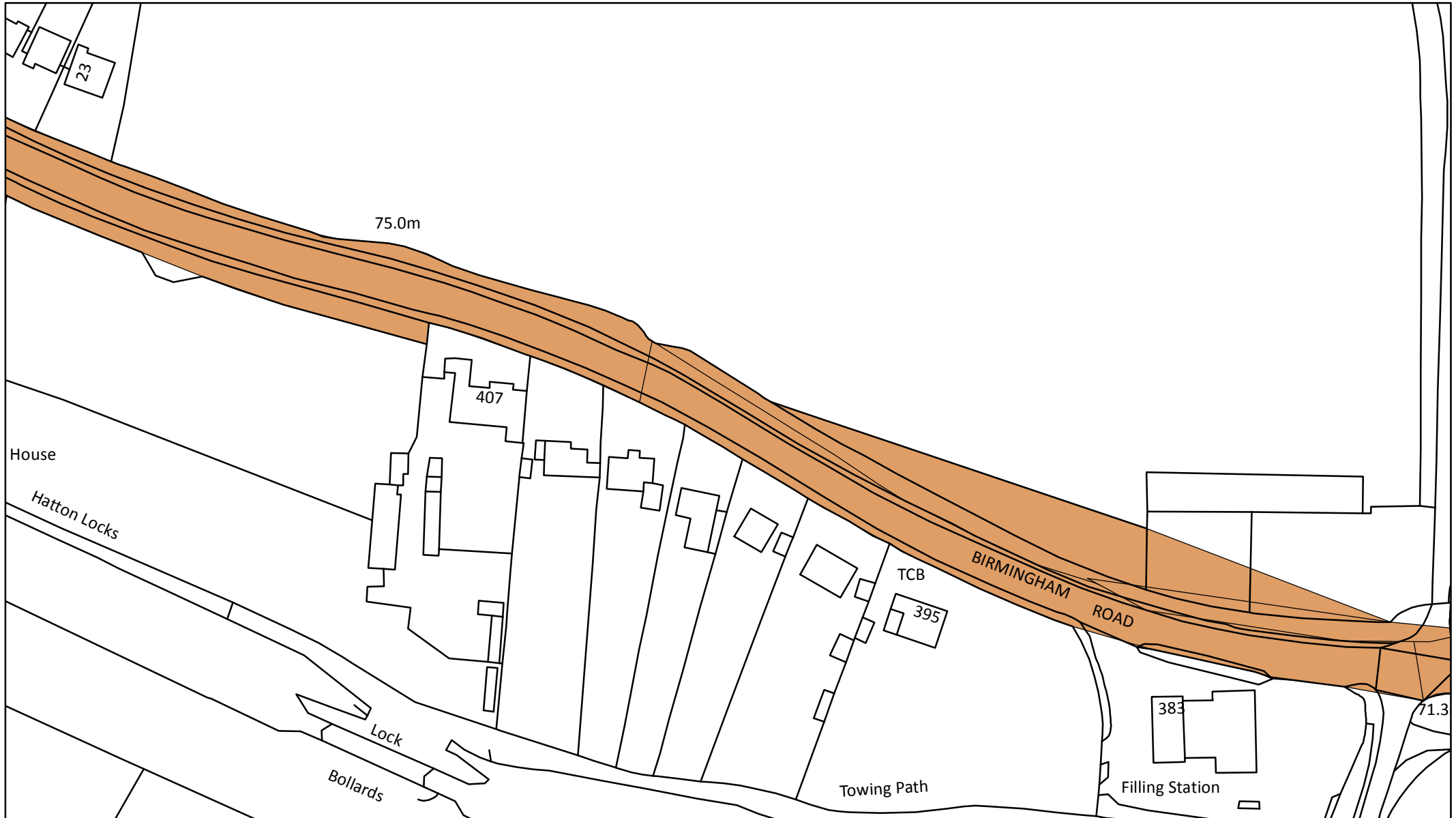
21. Hatton Park
(Proposed Mod. 2016)

**Local Plan
Policies
Map**




APPENDIX B

Birmingham Road, Hatton



Legend

 Highway Maintainable at Public Expense

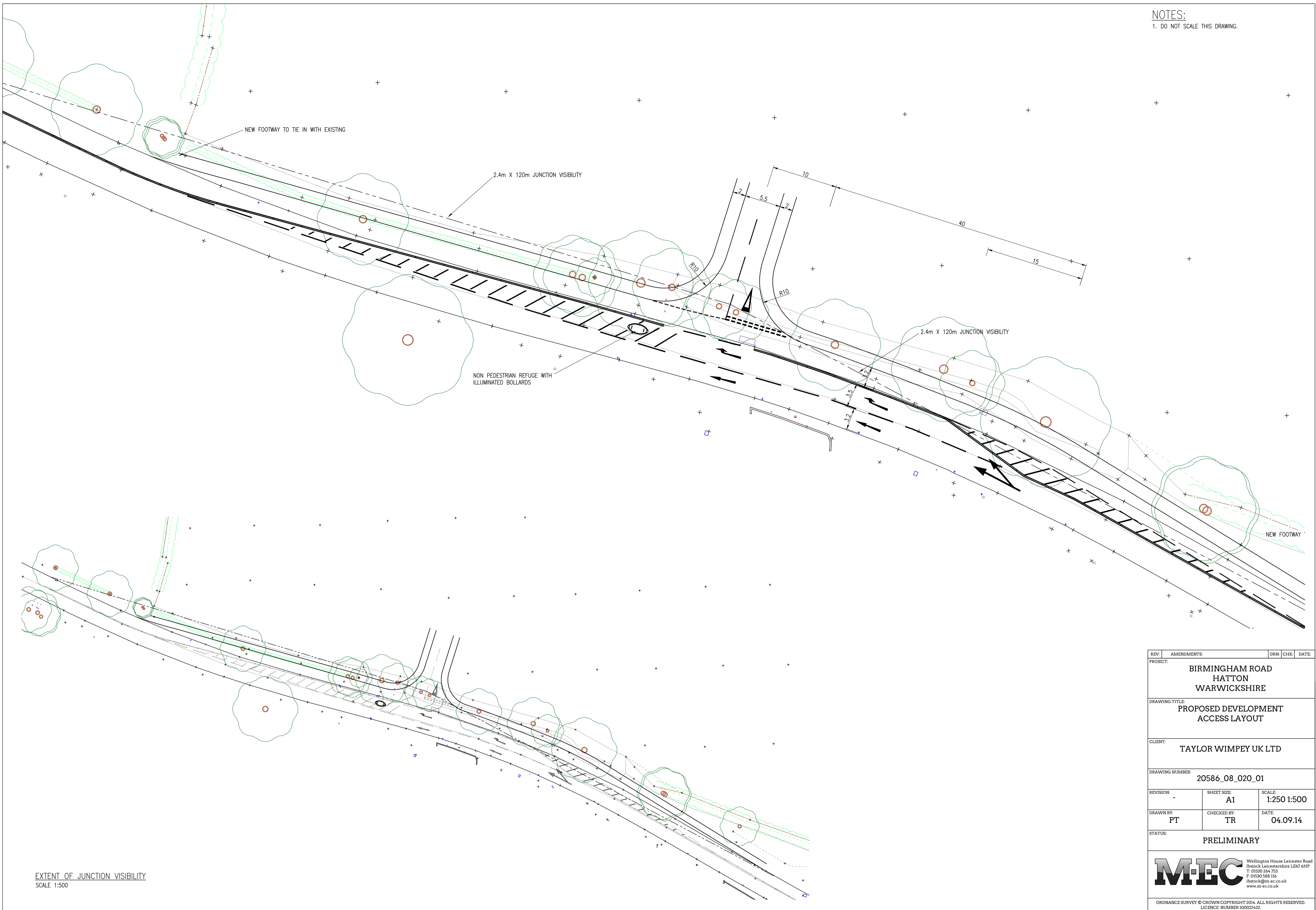



Communities
04 Nov 2014

Whilst the County Council as highway authority believes the information to be correct it should be noted as a matter of highway law that only a Court can issue the definitive interpretation on matters of highway status and extent

APPENDIX C

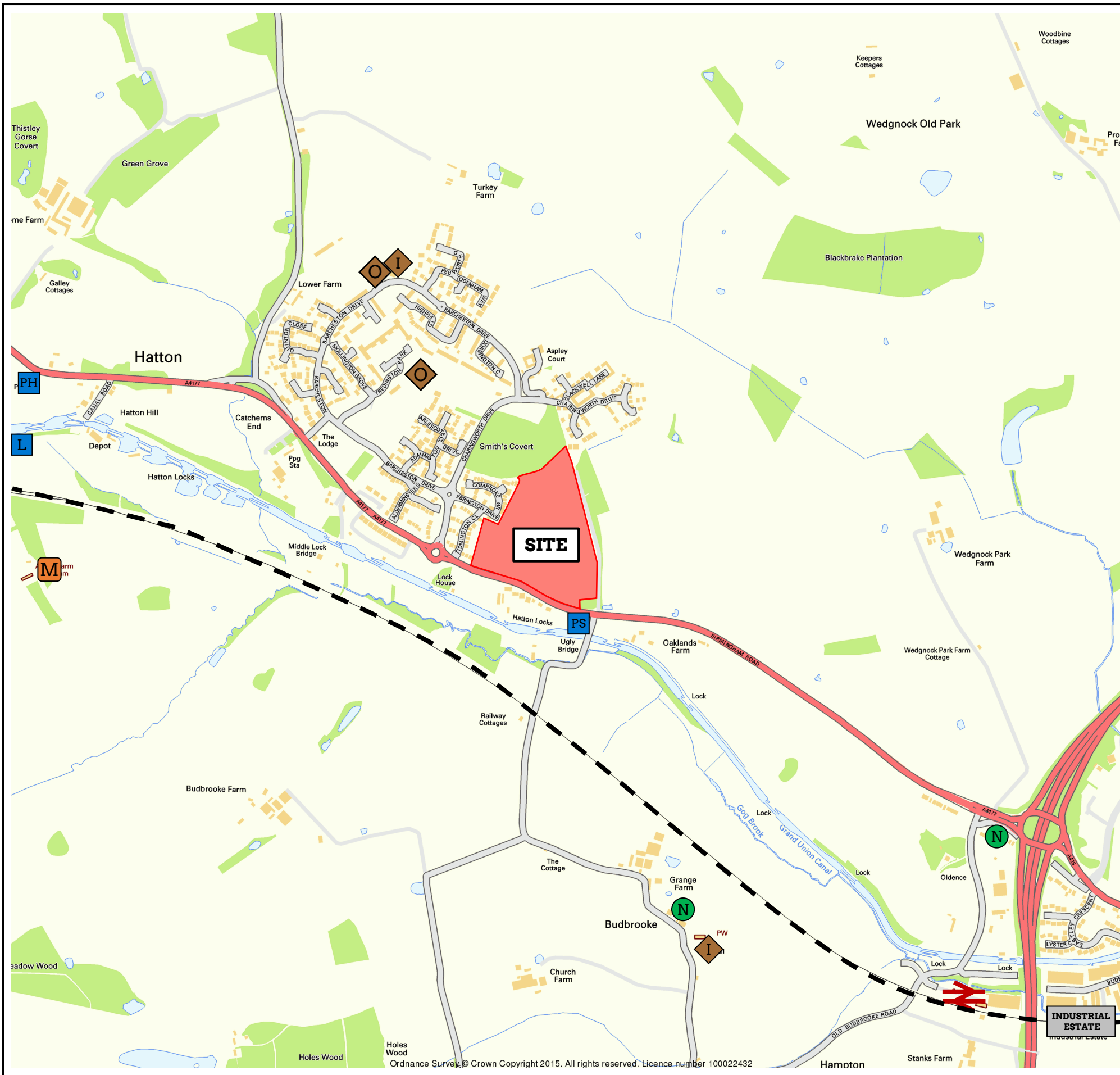
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DRAWING NUMBER: 20586_08_020_01				
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PT	TR	04.09.14		
STATUS: PRELIMINARY				
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APPENDIX D



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 - PAVED FOOTWAYS MAY NOT BE AVAILABLE ON ALL ROUTES.

EDUCATION

- NURSERY

RETAIL

- LOCAL SHOP
- PUBLIC HOUSE
- PETROL STATION WITH SHOP

LEISURE

- INDOOR VENUE
- OUTDOOR VENUE

MISCELLANEOUS

- MUSEUM
- WARWICK PARKWAY RAIL STATION

REV	AMENDMENTS	DRN	CHK	DATE
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PROJECT:
BIRMINGHAM ROAD, HATTON

DRAWING TITLE:
KEY LOCAL FACILITIES & PEDESTRIAN CATCHMENT PLAN

CLIENT:
TAYLOR WIMPEY UK LIMITED (WARWICK)

DRAWING NUMBER:
20586_08_010_01

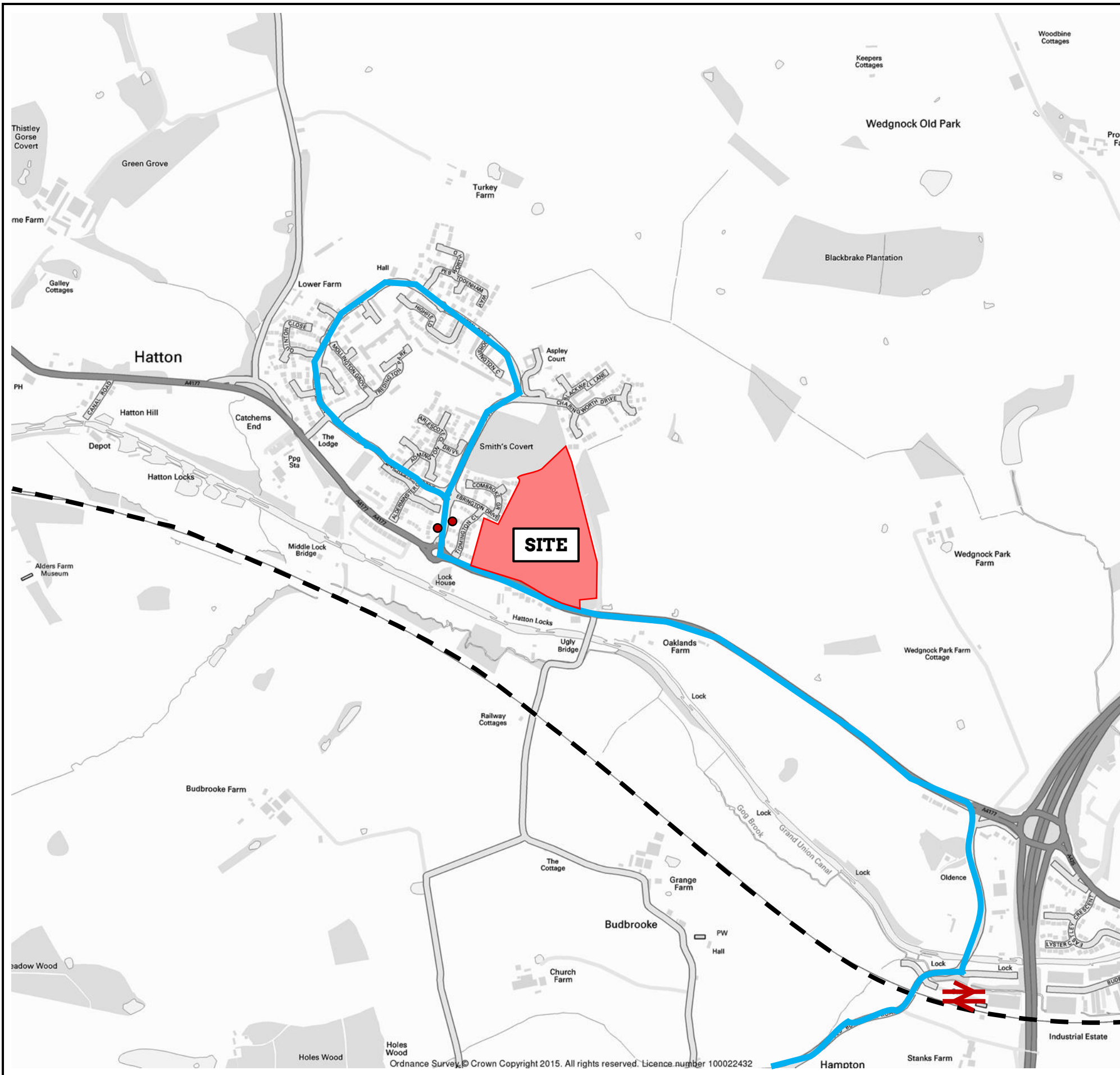
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APPENDIX E



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- 68 SERVICE - STAGECOACH (MON-SAT) SERVICE APPROX EVERY 30 MINS
- BUS STOP (WITHIN 400m OF SITE)

REV	AMENDMENTS	DRN	CHK	DATE

PROJECT:
BIRMINGHAM ROAD, HATTON

DRAWING TITLE:
LOCAL PUBLIC TRANSPORT ACCESSIBILITY PLAN

CLIENT:
TAYLOR WIMPEY UK LIMITED (WARWICK)

DRAWING NUMBER:
20586_08_010_02

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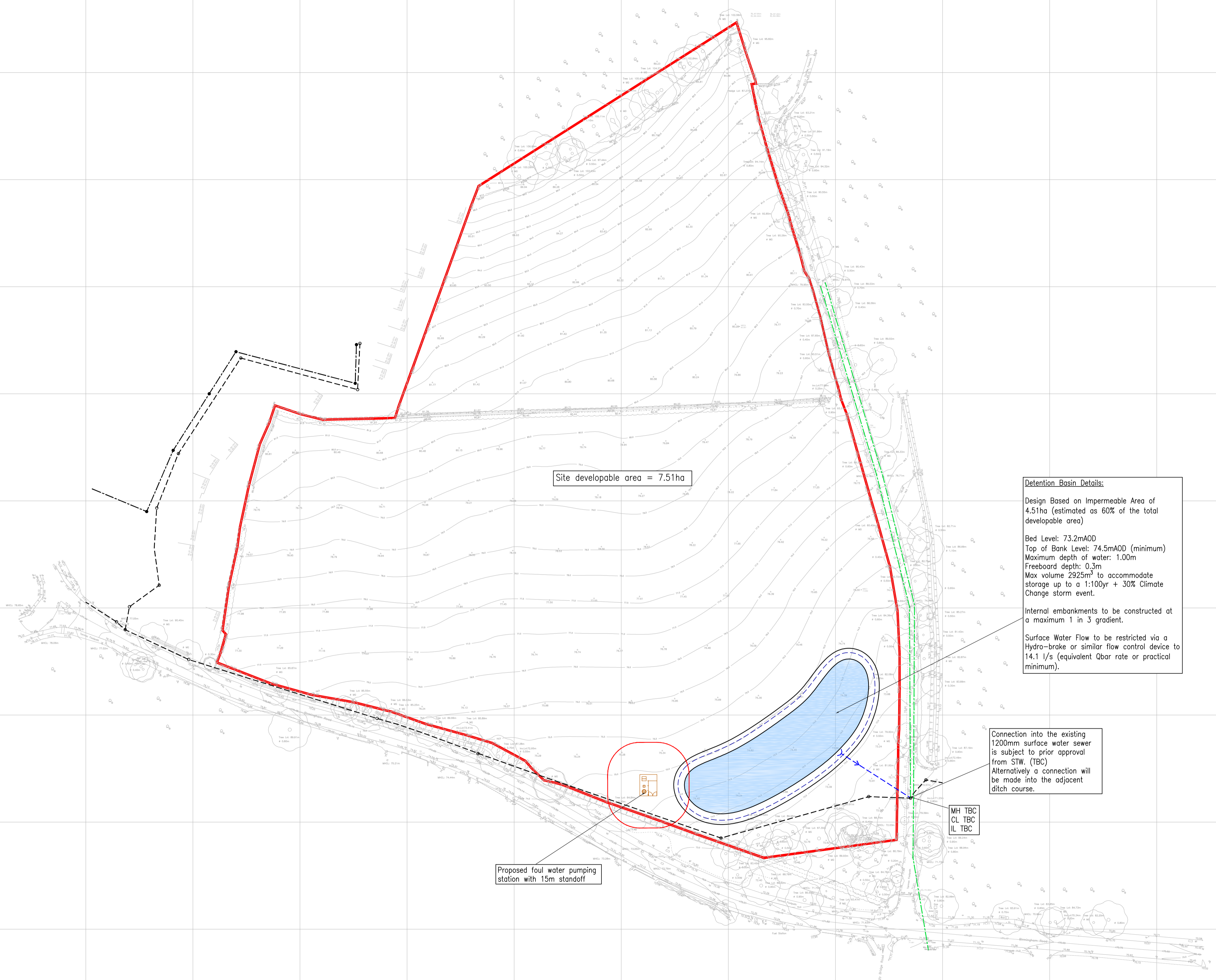
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APPENDIX F



Site developable area = 7.51ha

Detention Basin Details:
 Design Based on Impermeable Area of 4.51ha (estimated as 60% of the total developable area)
 Bed Level: 73.2mAOD
 Top of Bank Level: 74.5mAOD (minimum)
 Maximum depth of water: 1.00m
 Freeboard depth: 0.3m
 Max volume 2925m³ to accommodate storage up to a 1:100yr + 30% Climate Change storm event.
 Internal embankments to be constructed at a maximum 1 in 3 gradient.
 Surface Water Flow to be restricted via a Hydro-brake or similar flow control device to 14.1 l/s (equivalent Qbar rate or practical minimum).

Connection into the existing 1200mm surface water sewer is subject to prior approval from STW. (TBC)
 Alternatively a connection will be made into the adjacent ditch course.

MH TBC
 CL TBC
 IL TBC

Proposed foul water pumping station with 15m standoff

- GENERAL NOTES:
- DO NOT SCALE THIS DRAWING.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS, ARCHITECTS AND SPECIALIST DESIGN DRAWINGS AND DETAILS.
 - ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE. ALL LEVELS ARE IN METRES UNLESS NOTED OTHERWISE.
 - THIS DRAWING IS FOR STRATEGY PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

- KEY:
- SITE BOUNDARY
 - - - - - EXISTING SURFACE WATER DRAIN
 - EXISTING SURFACE WATER MANHOLE
 - - - - - EXISTING FOUL WATER DRAIN
 - EXISTING FOUL WATER MANHOLE
 - SECTION 104 SEWERS
 - ▨ SEWER EASEMENT
 - - - - - PROPOSED SURFACE WATER DRAIN
 - PROPOSED SURFACE WATER MANHOLE
 - PROPOSED FOUL WATER PUMPING STATION WITH 15m STAND OFF
 - ▭ PROPOSED BALANCING POND

REV:	AMENDMENTS:	DRN	CHK:	DATE:
------	-------------	-----	------	-------

PROJECT:
**BIRMINGHAM ROAD
 HATTON
 WARWICKSHIRE**

DRAWING TITLE:
PRELIMINARY DRAINAGE STRATEGY

CLIENT:
TAYLOR WIMPEY UK LTD

DRAWING NUMBER:
20586_01_230_01

REVISION:	SHEET SIZE: A1	SCALE: 1:1000
-----------	--------------------------	-------------------------

DRAWN BY: NH	CHECKED BY: NO	DATE: 20.04.16
------------------------	--------------------------	--------------------------

STATUS:
PRELIMINARY



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 LICENCE NUMBER 100022432.

File Location: T:\M-EC\Job Book\20586\Drawings\01 hydrology\20586_01_230_01 preliminary drainage strategy.dwg
 Printed: 22.04.2016

APPENDIX G

Site Details:

Warwickshire, CV35 7TF

Client Ref: EMS_239375_319831

Report Ref: EMS-239375_319831

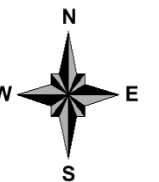
Grid Ref: 425447, 266602

Map Name: MasterMap

Map date: 2012

Scale: 1:1,250

Printed at: 1:2,500



2012



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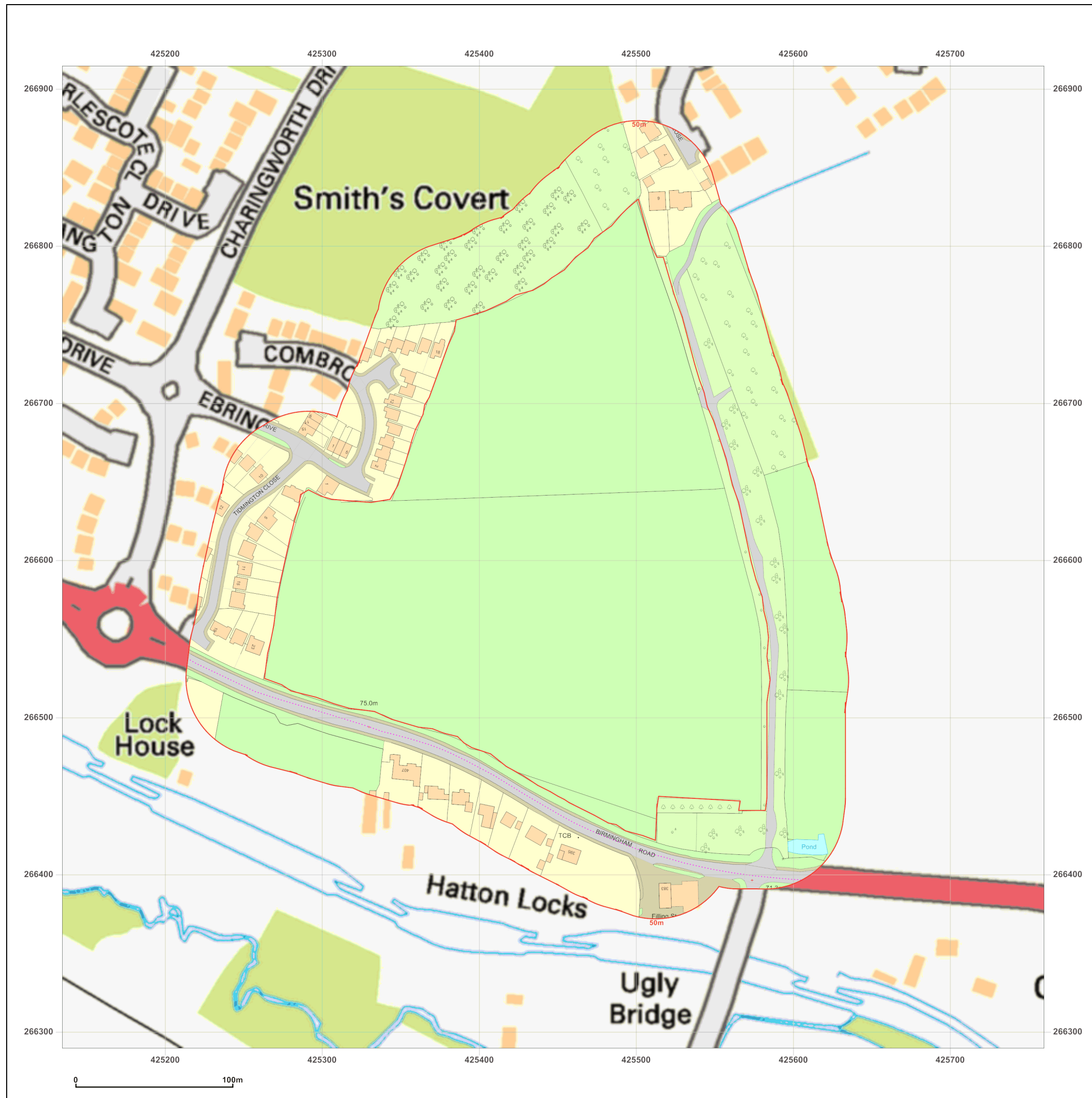


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Site Details:

Warwickshire, CV35 7TF

Client Ref: EMS_239375_319831

Report Ref: EMS-239375_319831

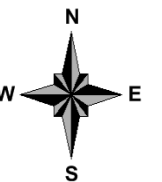
Grid Ref: 425447, 266602

Map Name: National Grid

Map date: 1993

Scale: 1:2,500

Printed at: 1:2,500



Surveyed 1993
Revised 1993
Edition N/A
Copyright N/A
Levelled N/A



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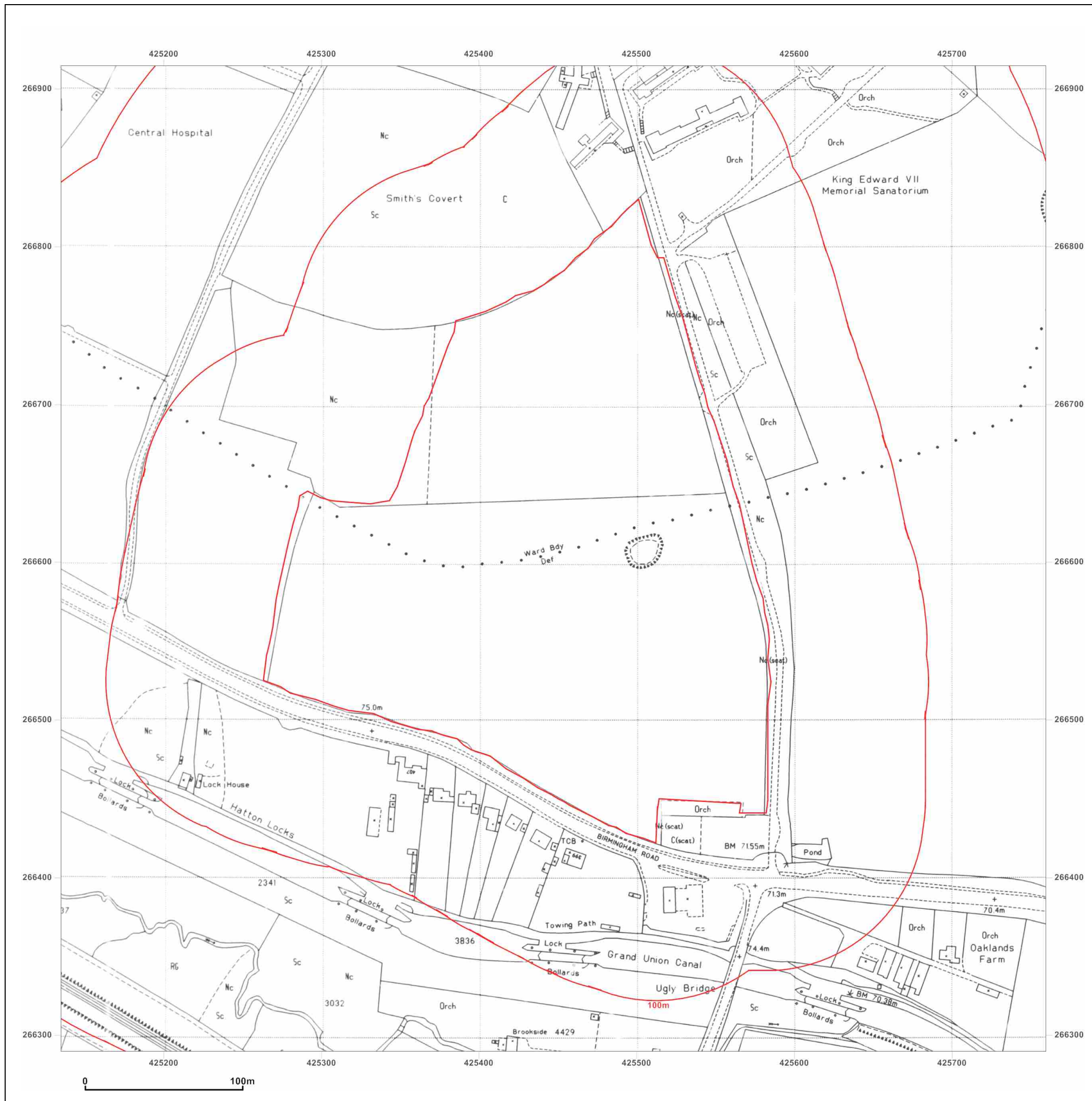


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Site Details:

Warwickshire, CV35 7TF

Client Ref: EMS_239375_319831

Report Ref: EMS-239375_319831

Grid Ref: 425447, 266602

Map Name: National Grid

Map date: 1968

Scale: 1:2,500

Printed at: 1:2,500



Surveyed N/A
Revised N/A
Edition N/A
Copyright N/A
Levelled N/A



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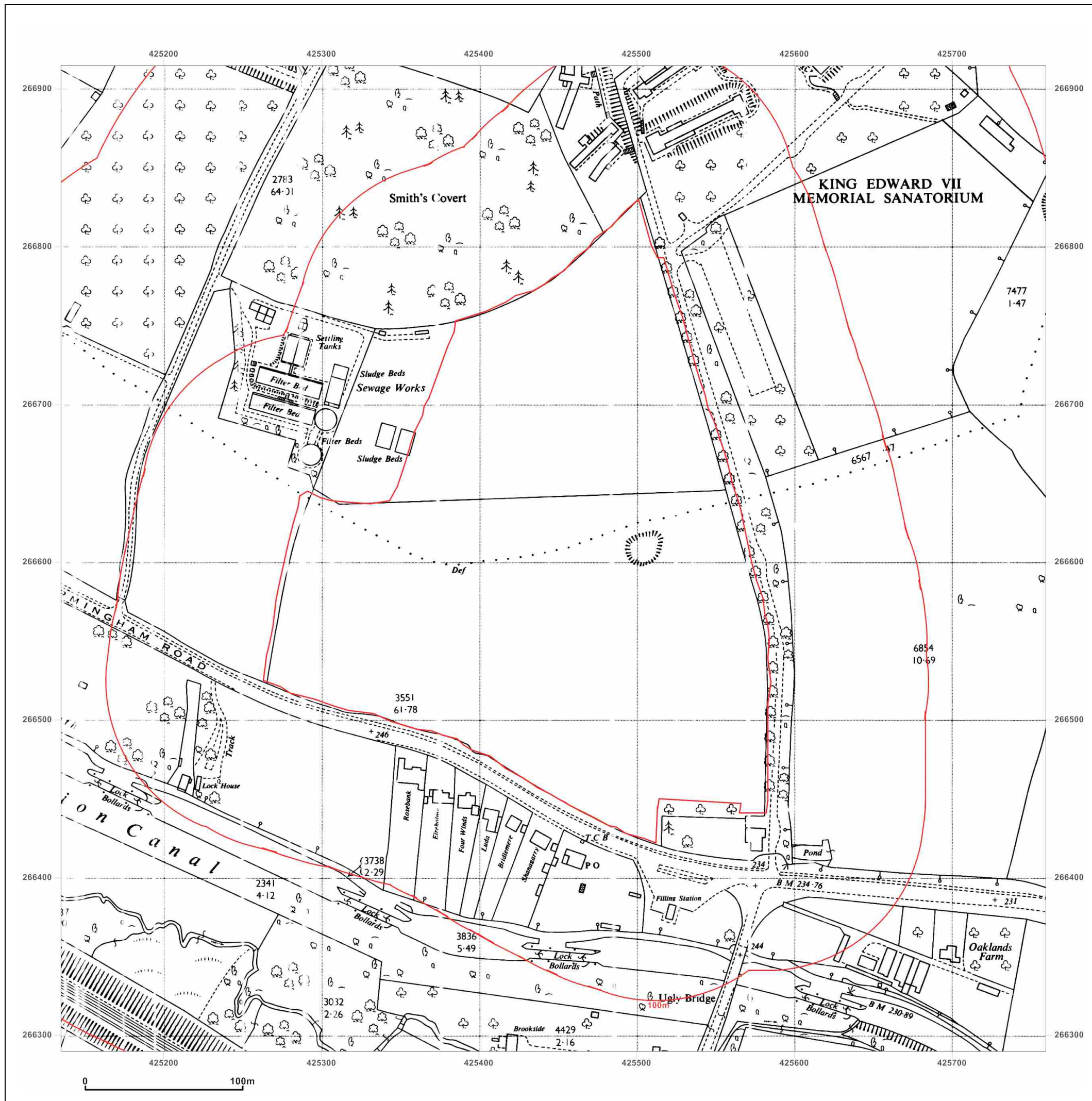


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Site Details:

Warwickshire, CV35 7TF

Client Ref: EMS_239375_319831

Report Ref: EMS-239375_319831

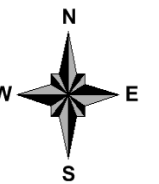
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Map Name: National Grid

Map date: 1966

Scale: 1:2,500

Printed at: 1:2,500



Surveyed 1966
Revised 1966
Edition N/A
Copyright 1968
Levelled 1963



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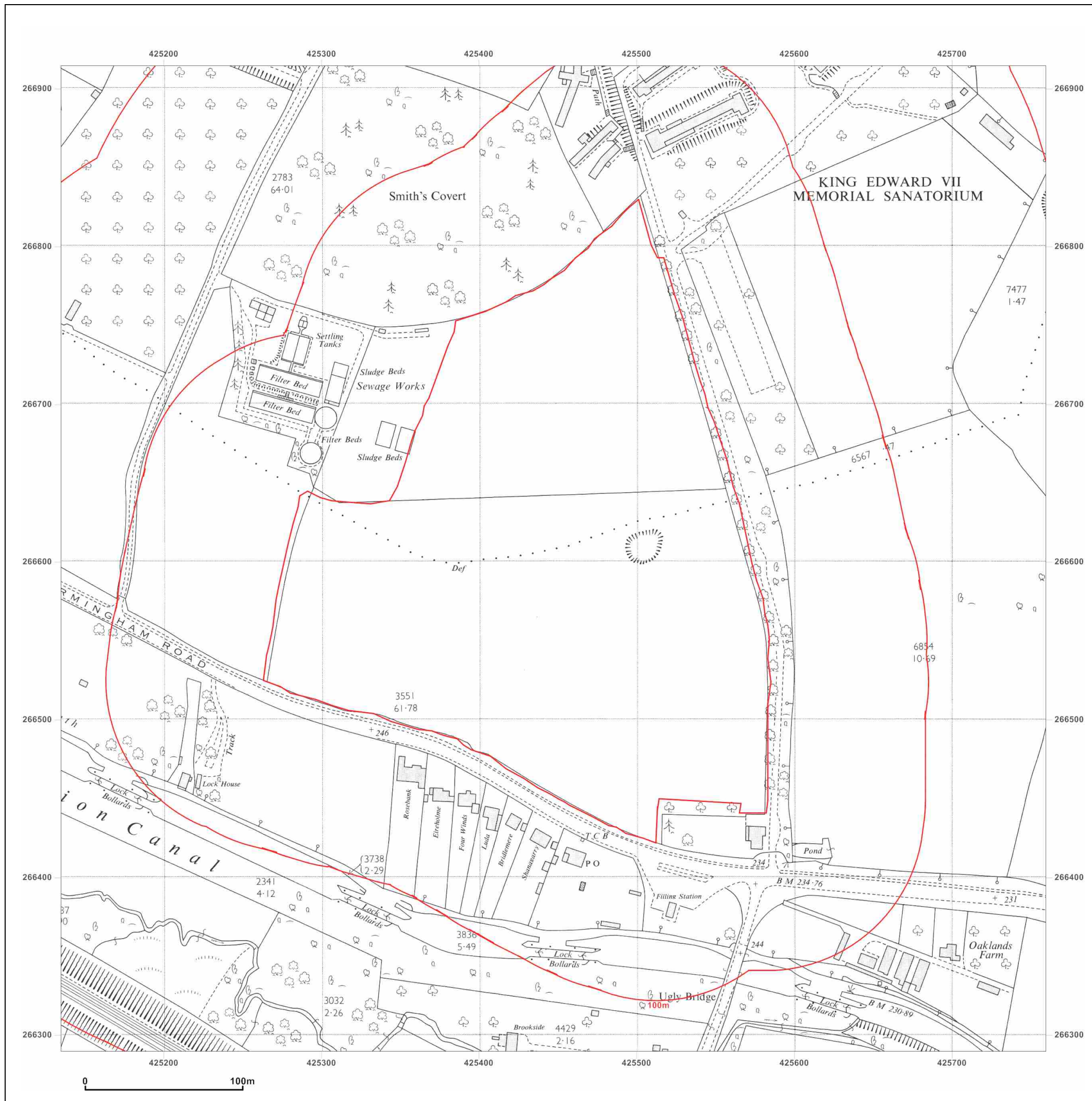


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Site Details:

Warwickshire, CV35 7TF

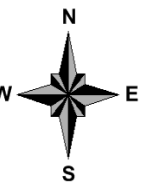
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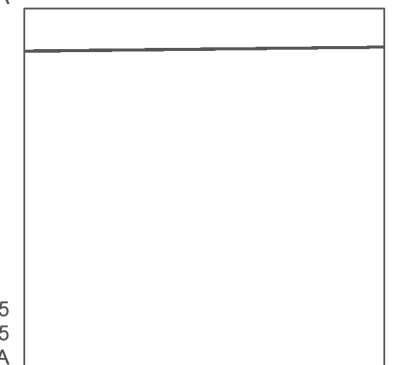
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Scale: 1:2,500

Printed at: 1:2,500



Surveyed 1925
 Revised 1925
 Edition N/A
 Copyright N/A
 Levelled N/A



Surveyed 1925
 Revised 1925
 Edition N/A
 Copyright N/A
 Levelled N/A



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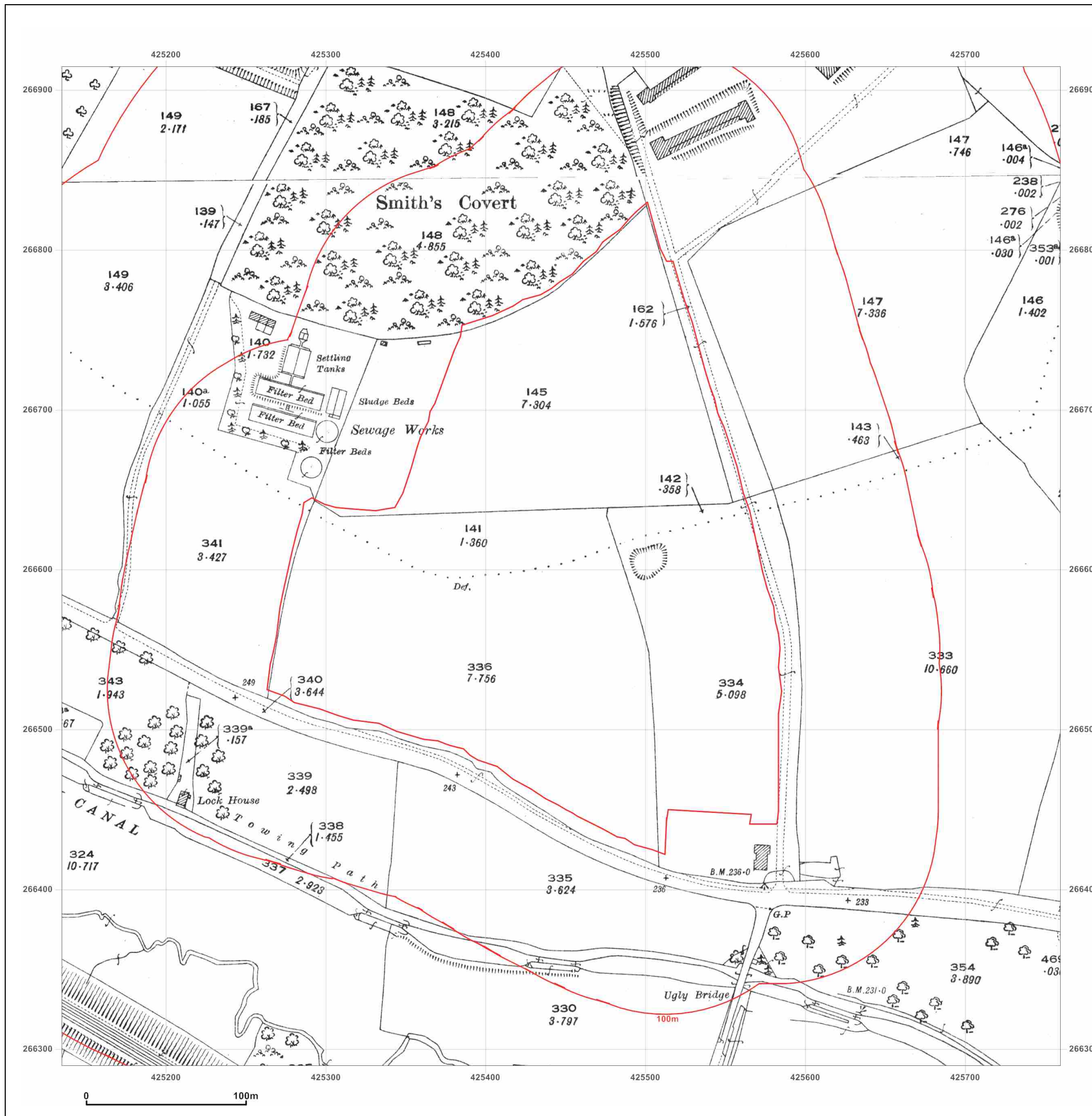


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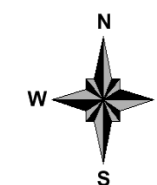
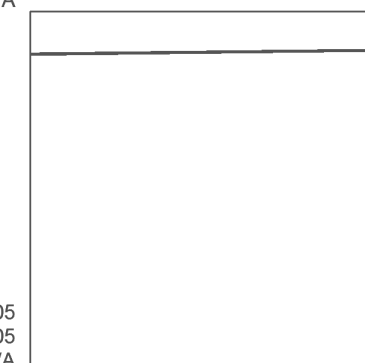
Production date: 26 February 2014

To view map legend click here [Legend](#)



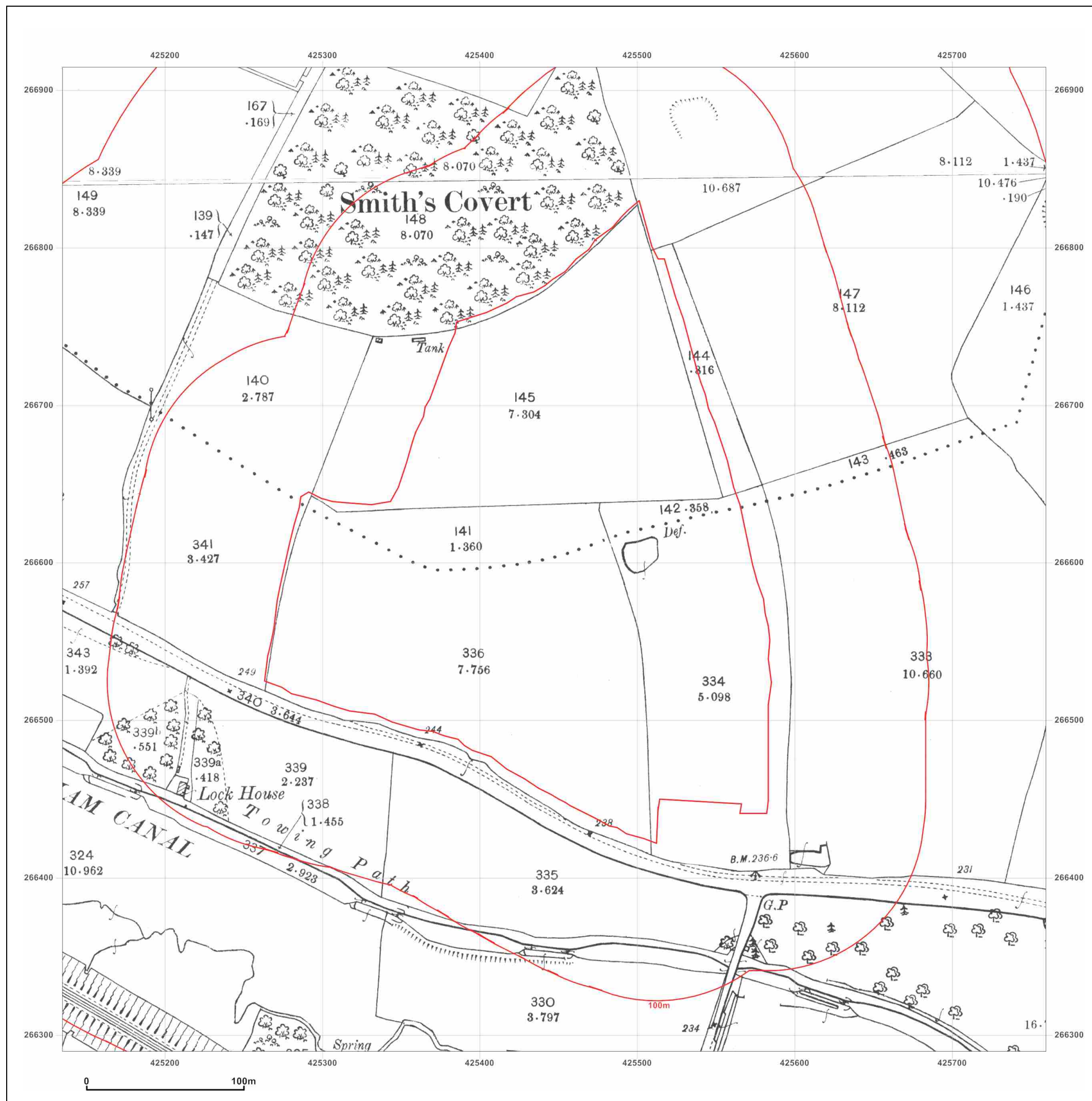
Site Details:

Warwickshire, CV35 7TF

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Revised 1905
Edition N/A
Copyright N/A
Levelled N/ASurveyed 1905
Revised 1905
Edition N/A
Copyright N/A
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Production date: 26 February 2014

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Site Details:

Warwickshire, CV35 7TF

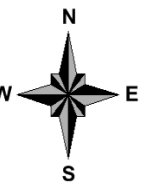
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Map Name: County Series

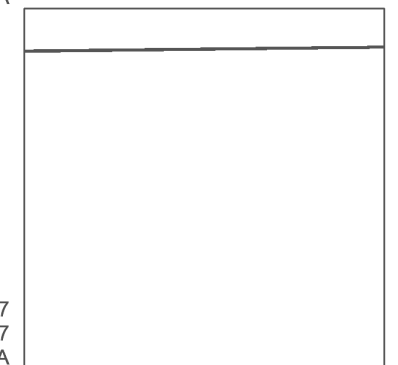
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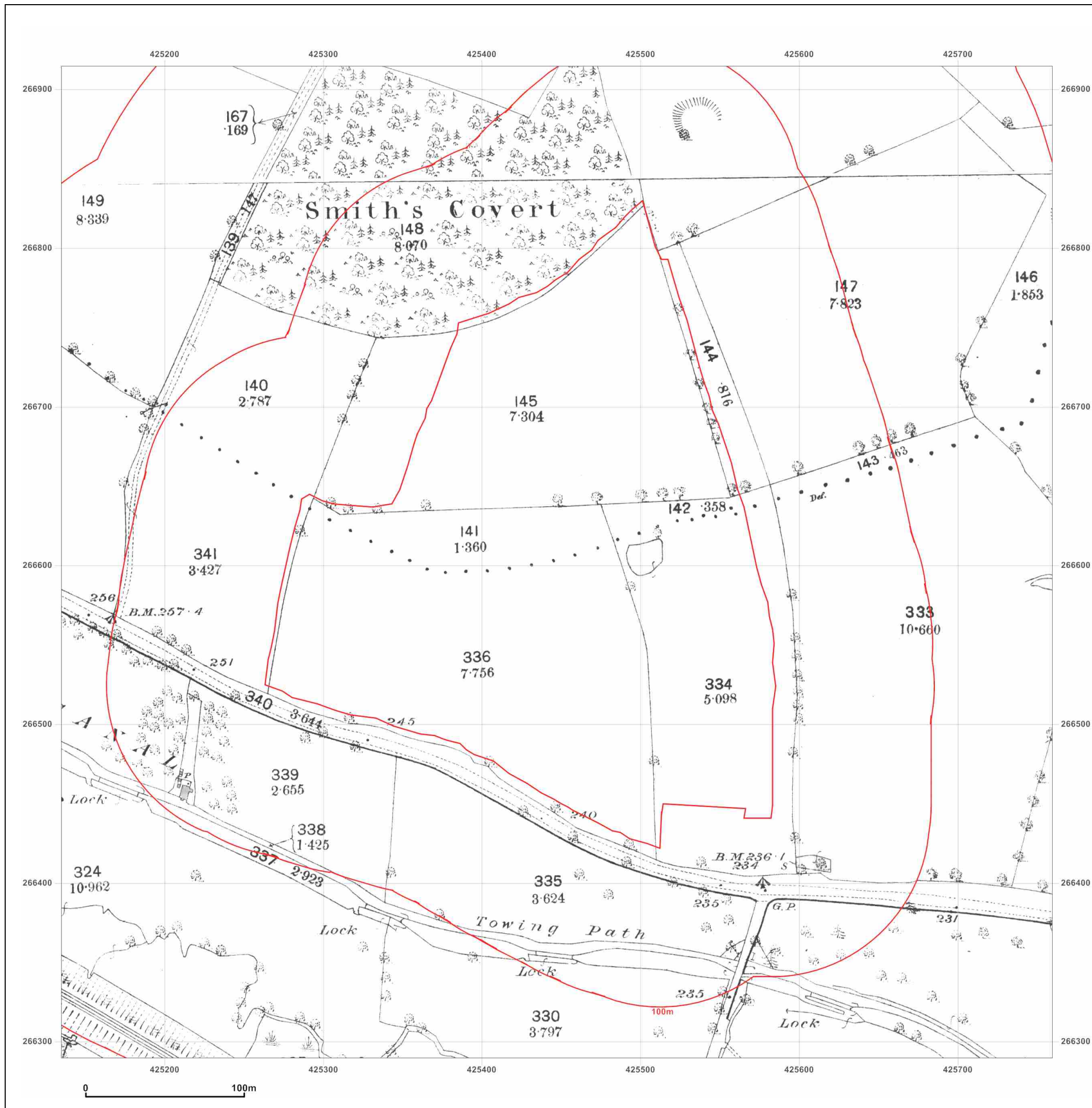
Printed at: 1:2,500



Surveyed 1887
 Revised 1887
 Edition N/A
 Copyright N/A
 Levelled N/A



Surveyed 1887
 Revised 1887
 Edition N/A
 Copyright N/A
 Levelled N/A



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Site Details:

Warwickshire, CV35 7TF

Client Ref: EMS_239375_319831

Report Ref: EMS-239375_319831

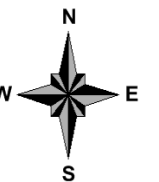
Grid Ref: 425447, 266602

Map Name: National Grid

Map date: 2012

Scale: 1:10,000

Printed at: 1:10,000



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Site Details:

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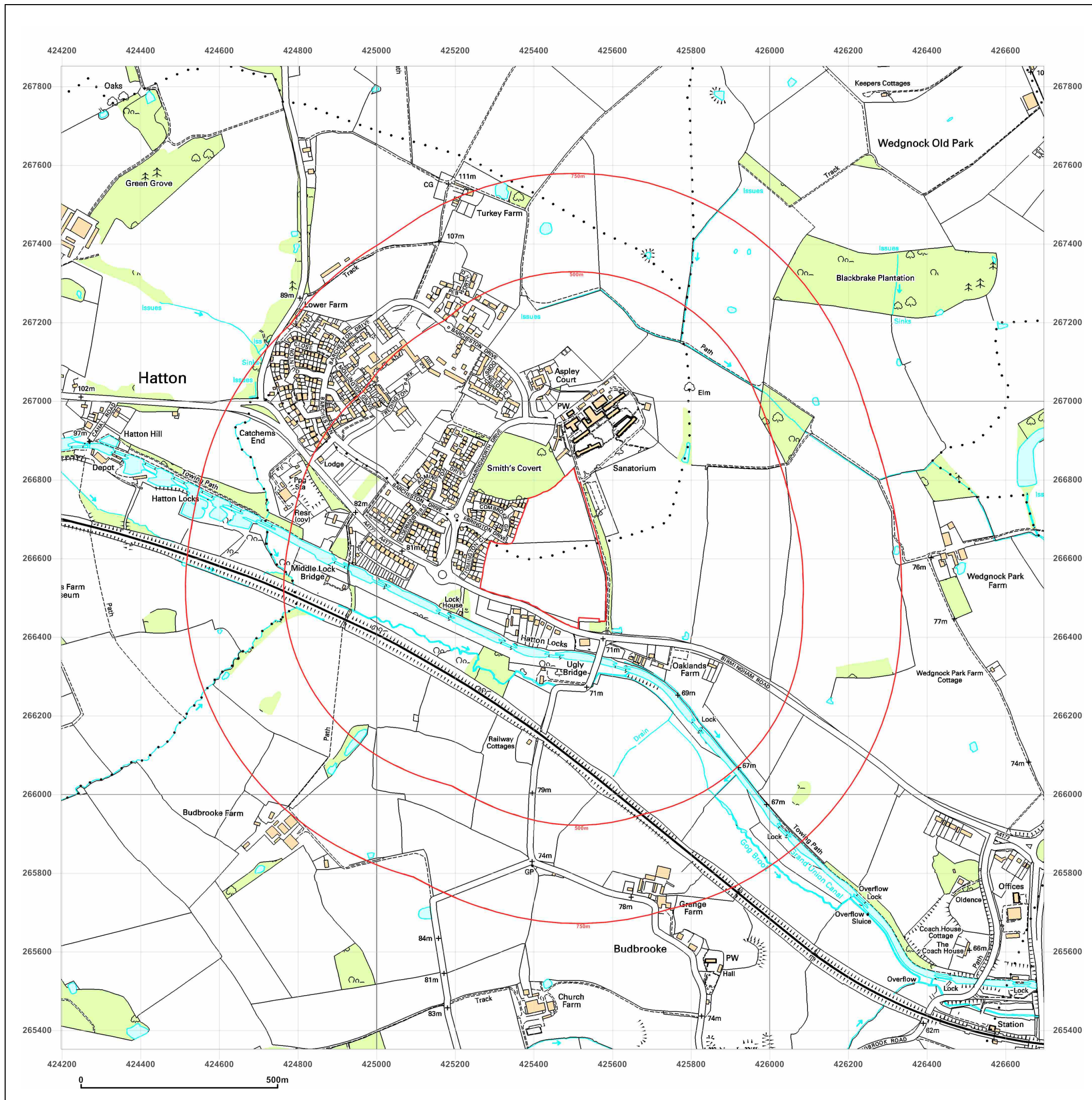
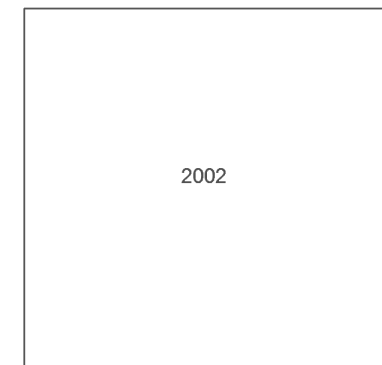
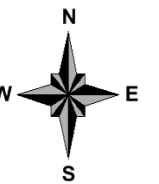
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Report Ref: EMS-239375_319831
Grid Ref: 425447, 266602

Map Name: 1:10,000 Raster

Map date: 2002

Scale: 1:10,000

Printed at: 1:10,000



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Site Details:

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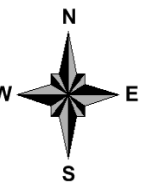
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Map Name: National Grid

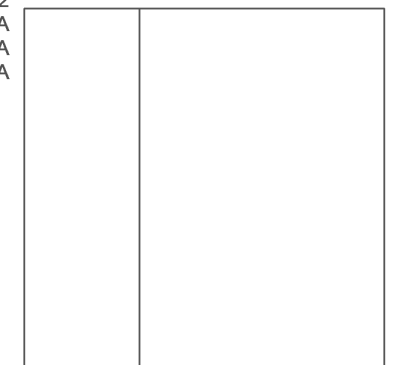
Map date: 1992

Scale: 1:10,000

Printed at: 1:10,000



Surveyed 1991
 Revised 1992
 Edition N/A
 Copyright N/A
 Levelled N/A



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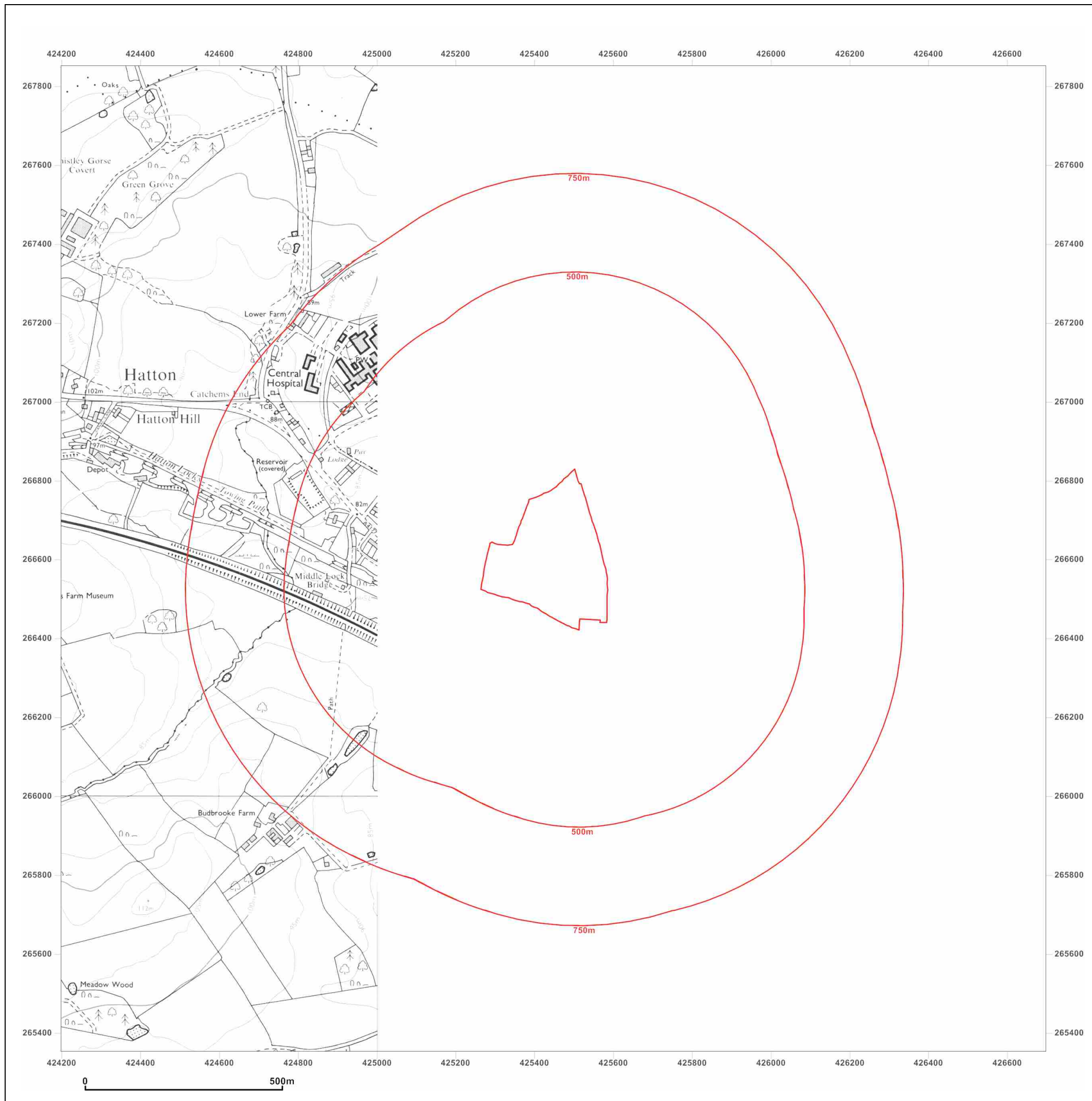


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Site Details:

Warwickshire, CV35 7TF

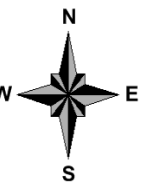
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Report Ref: EMS-239375_319831
Grid Ref: 425447, 266602

Map Name: National Grid

Map date: 1981

Scale: 1:10,000

Printed at: 1:10,000



Surveyed 1980
 Revised 1981
 Edition N/A
 Copyright N/A
 Levelled N/A



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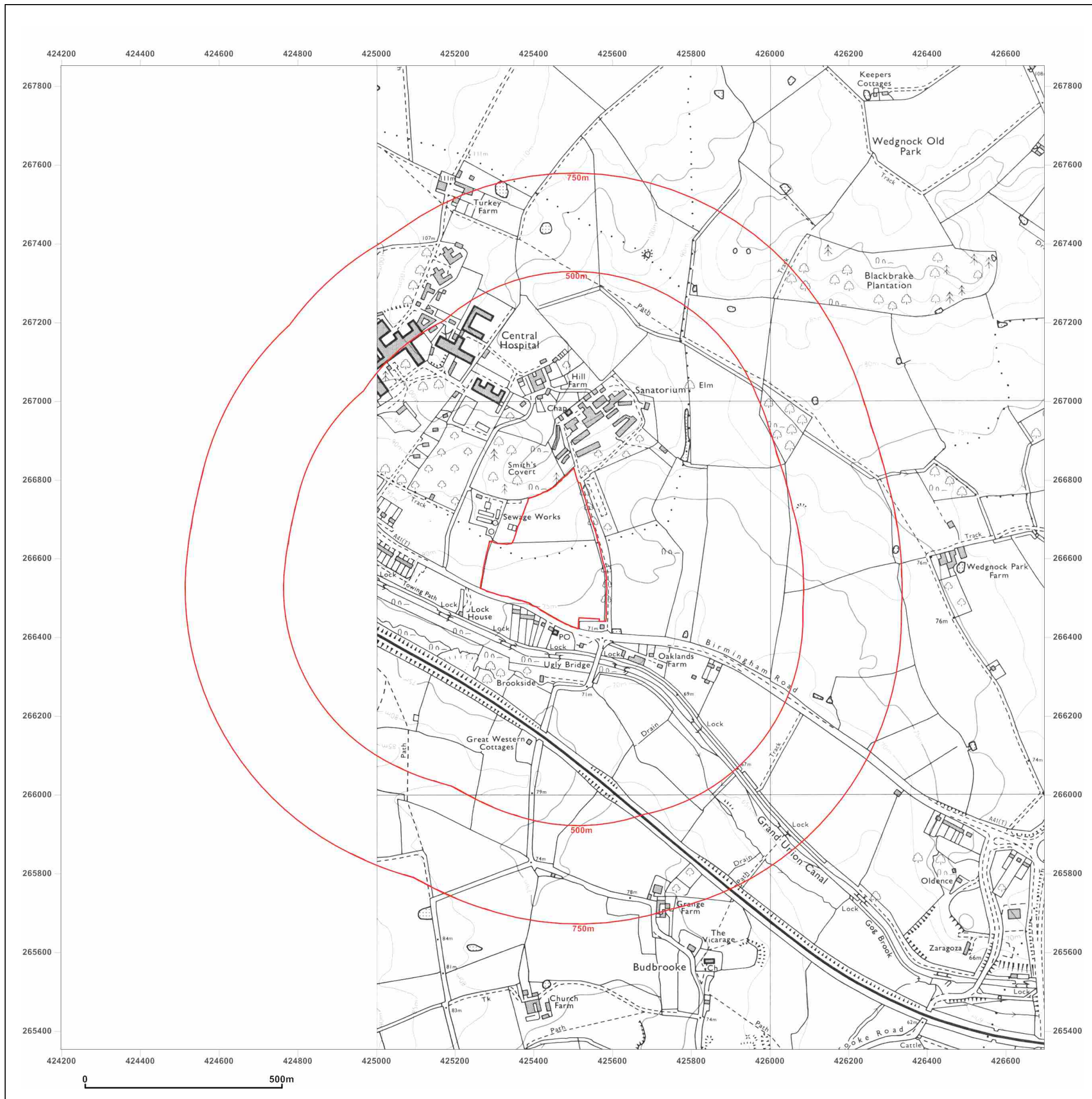


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Site Details:

Warwickshire, CV35 7TF

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Report Ref: EMS-239375_319831

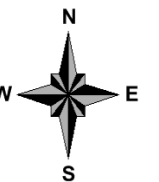
Grid Ref: 425447, 266602

Map Name: National Grid

Map date: 1971

Scale: 1:10,000

Printed at: 1:10,000



Surveyed 1971
Revised 1971
Edition N/A
Copyright N/A
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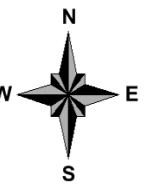
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Map Name: Provisional

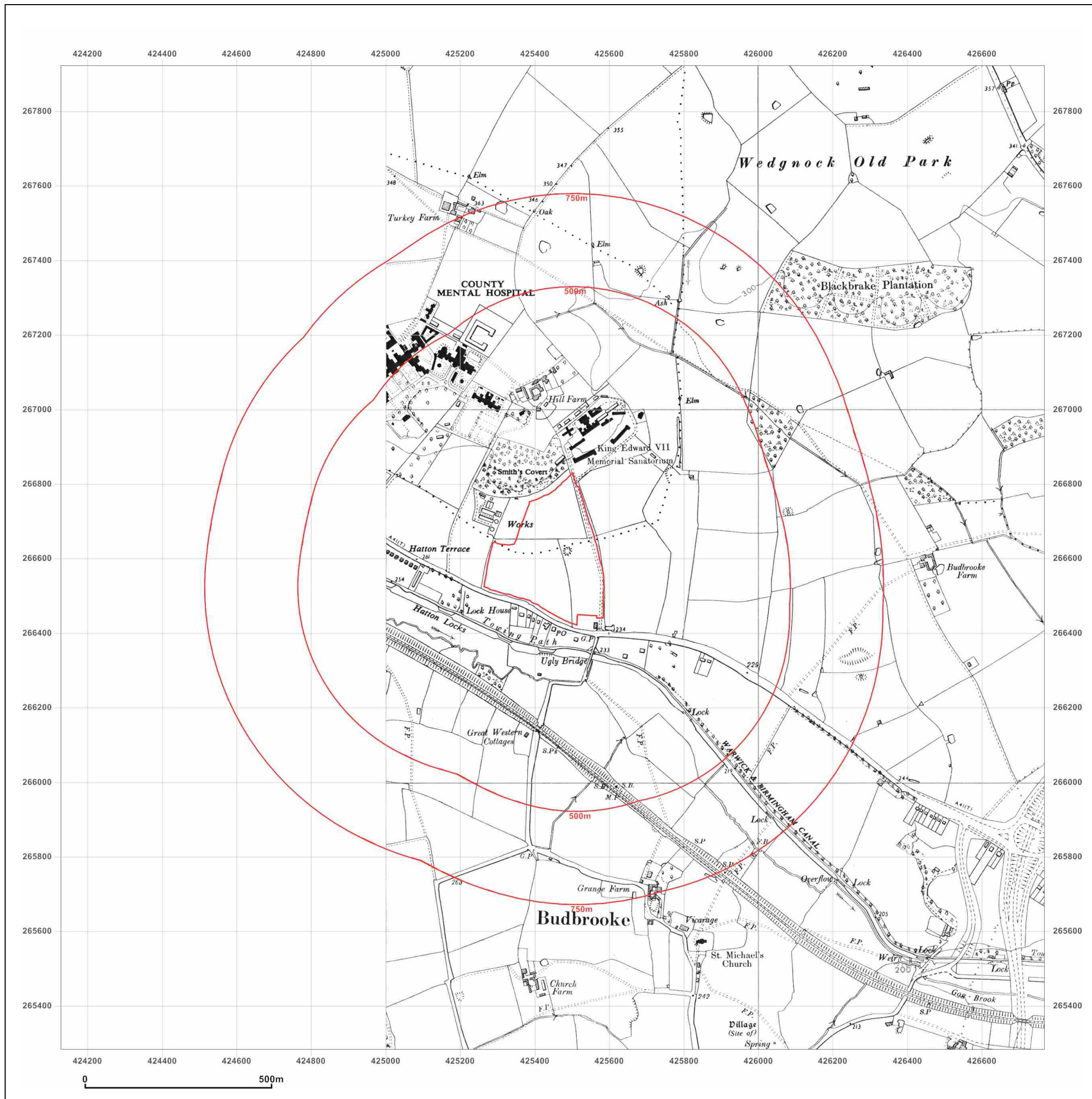
Map date: 1968

Scale: 1:10,560

Printed at: 1:10,560



Surveyed 1951
Revised 1951
Edition N/A
Copyright 1968
Levelled N/A



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Site Details:

Warwickshire, CV35 7TF

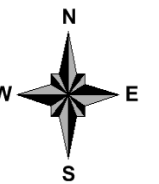
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Report Ref: EMS-239375_319831
Grid Ref: 425447, 266602

Map Name: Provisional

Map date: 1954-1955

Scale: 1:10,560

Printed at: 1:10,560



Surveyed 1950
 Revised 1955
 Edition N/A
 Copyright N/A
 Levelled N/A

Surveyed 1951
 Revised 1951
 Edition N/A
 Copyright N/A
 Levelled N/A



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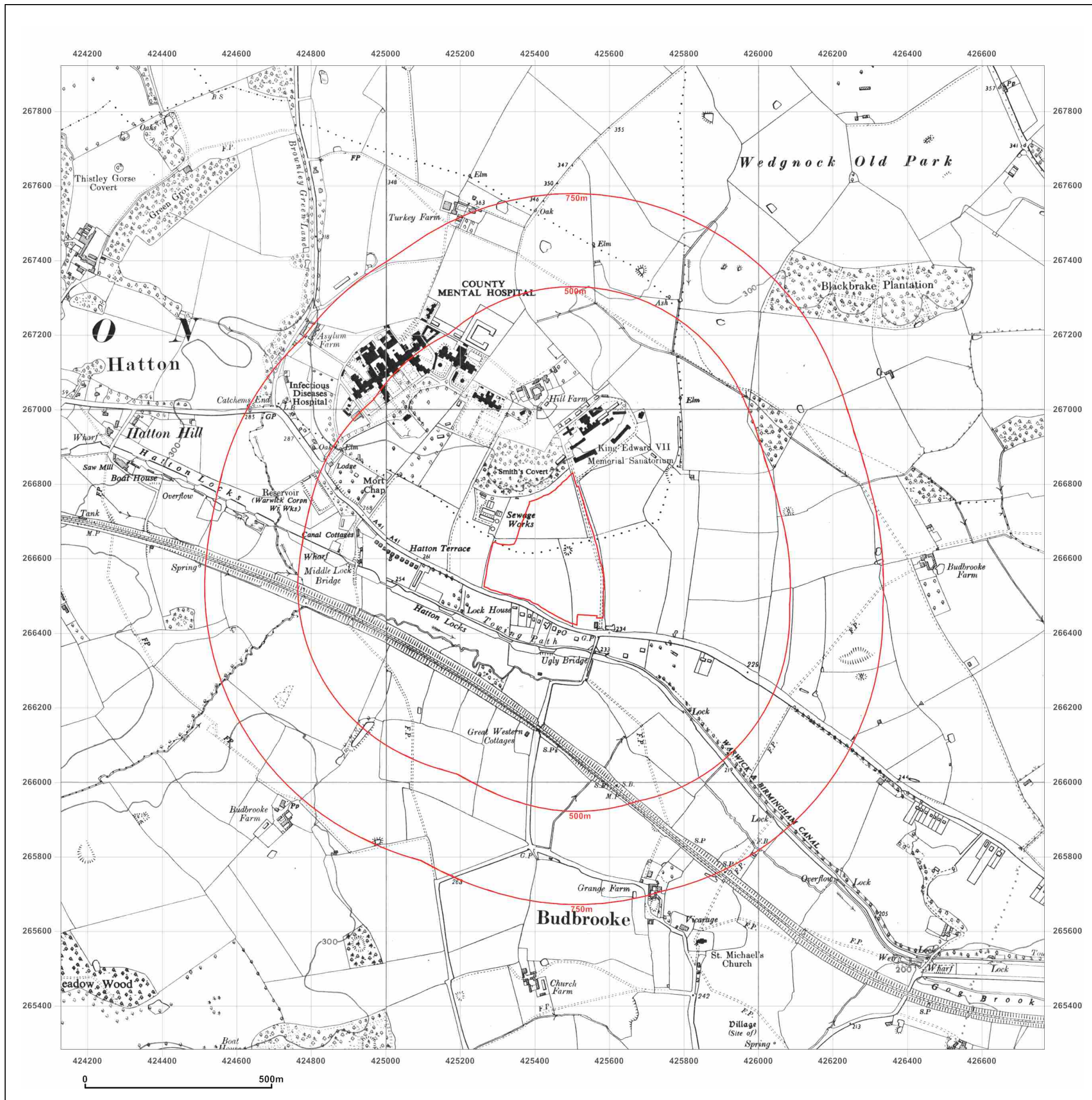


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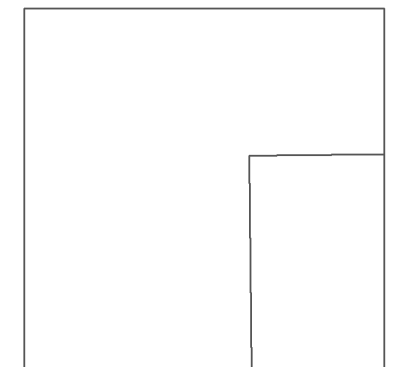
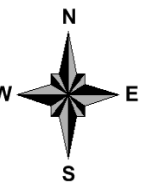
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Report Ref: EMS-239375_319831
Grid Ref: 425447, 266602

Map Name: County Series

Map date: 1938

Scale: 1:10,560

Printed at: 1:10,560



Surveyed 1885
Revised 1938
Edition N/A
Copyright N/A
Levelled N/A



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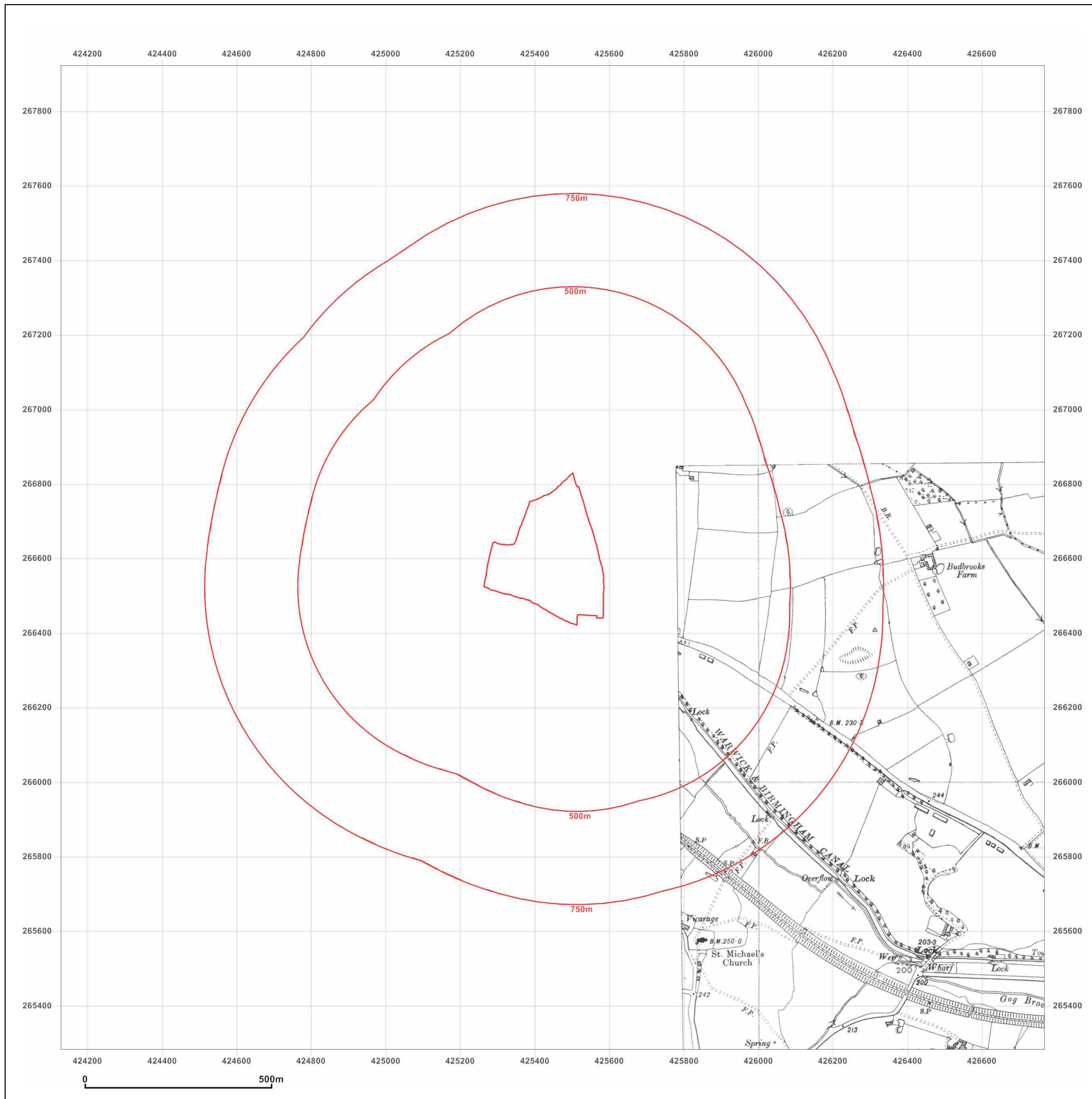


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Site Details:

Warwickshire, CV35 7TF

Client Ref: EMS_239375_319831
Report Ref: EMS-239375_319831
Grid Ref: 425447, 266602

Map Name: County Series

Map date: 1926

Scale: 1:10,560

Printed at: 1:10,560



Surveyed 1885
 Revised 1926
 Edition N/A
 Copyright N/A
 Levelled N/A

Surveyed 1885
 Revised 1926
 Edition N/A
 Copyright N/A
 Levelled N/A

Surveyed 1885
 Revised 1926
 Edition N/A
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Surveyed 1885
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 Edition 1926
 Copyright N/A
 Levelled N/A



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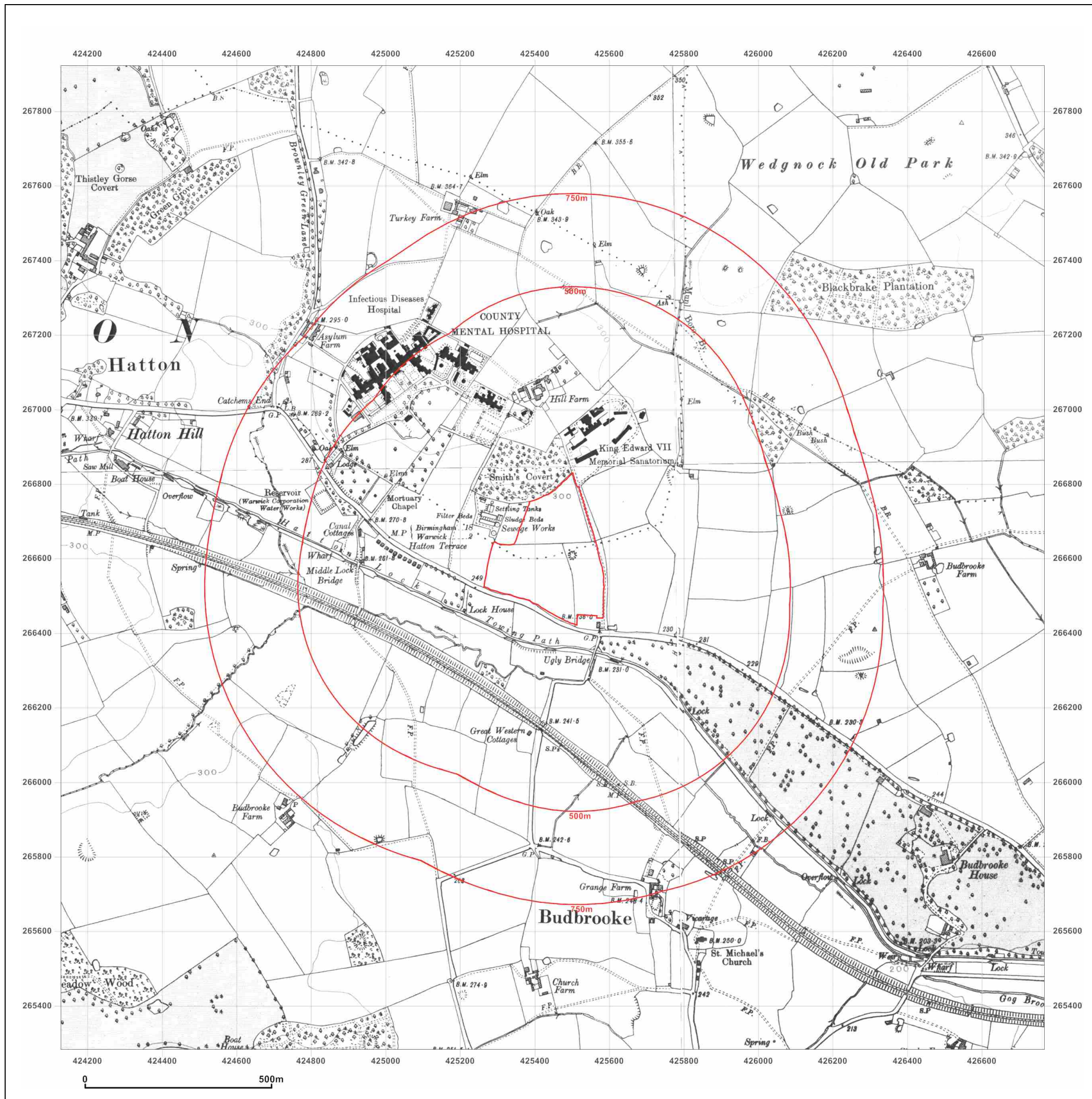


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Site Details:

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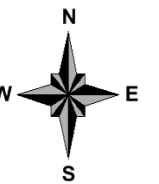
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Grid Ref: 425447, 266602

Map Name: County Series

Map date: 1903-1904

Scale: 1:10,560

Printed at: 1:10,560



Surveyed 1903
 Revised 1903
 Edition N/A
 Copyright N/A
 Levelled N/A

Surveyed 1903
 Revised 1903
 Edition N/A
 Copyright N/A
 Levelled N/A

Surveyed 1903
 Revised 1903
 Edition N/A
 Copyright N/A
 Levelled N/A

Surveyed 1904
 Revised 1904
 Edition N/A
 Copyright N/A
 Levelled N/A



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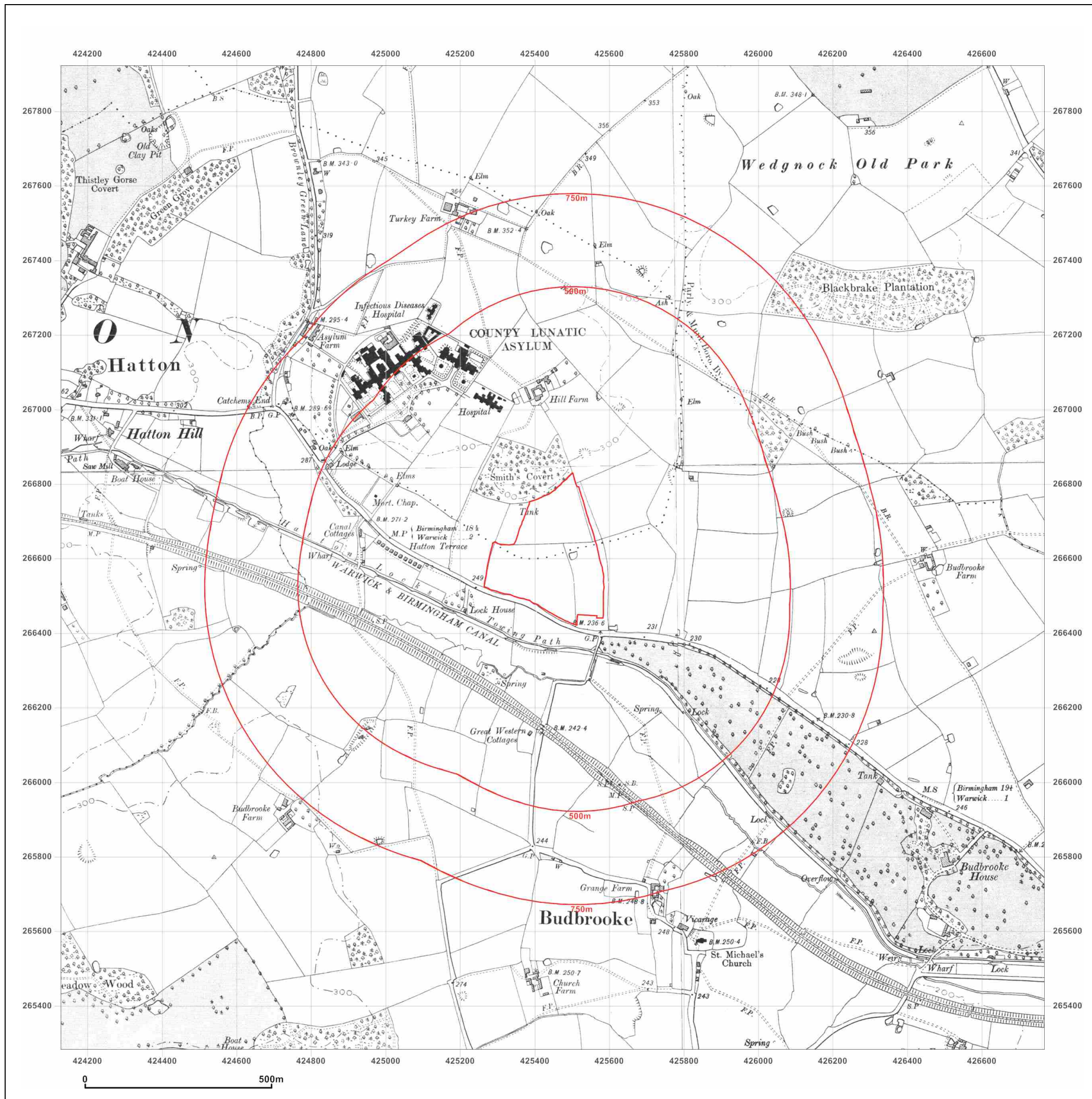


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Site Details:

Warwickshire, CV35 7TF

Client Ref: EMS_239375_319831

Report Ref: EMS-239375_319831

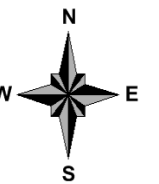
Grid Ref: 425447, 266602

Map Name: County Series

Map date: 1886

Scale: 1:10,560

Printed at: 1:10,560



Surveyed 1886
Revised 1886
Edition N/A
Copyright N/A
Levelled N/A

Surveyed 1886
Revised 1886
Edition N/A
Copyright N/A
Levelled N/A

Surveyed 1886
Revised 1886
Edition N/A
Copyright N/A
Levelled N/A

Surveyed 1886
Revised 1886
Edition N/A
Copyright N/A
Levelled N/A



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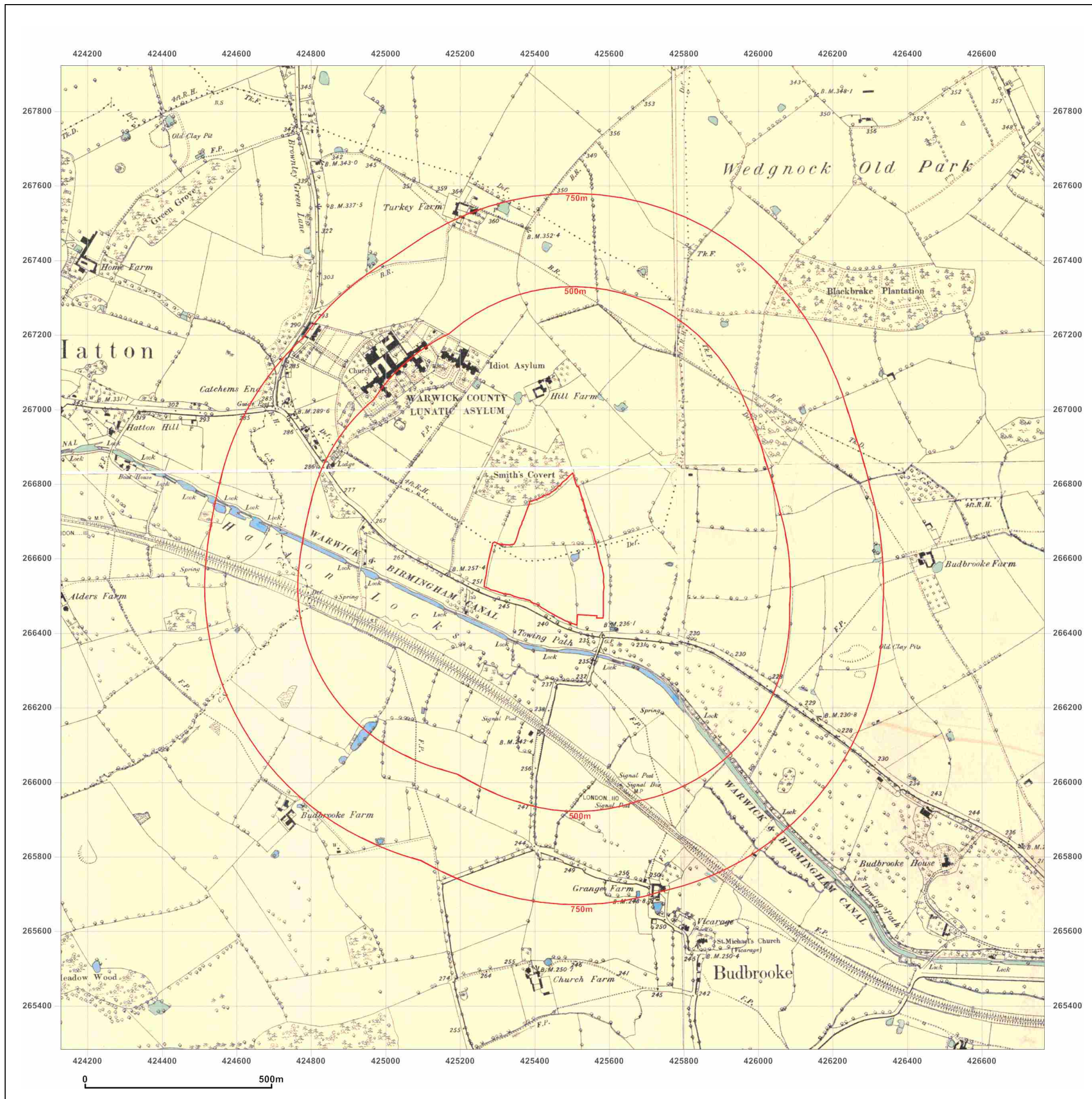


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Production date: 26 February 2014

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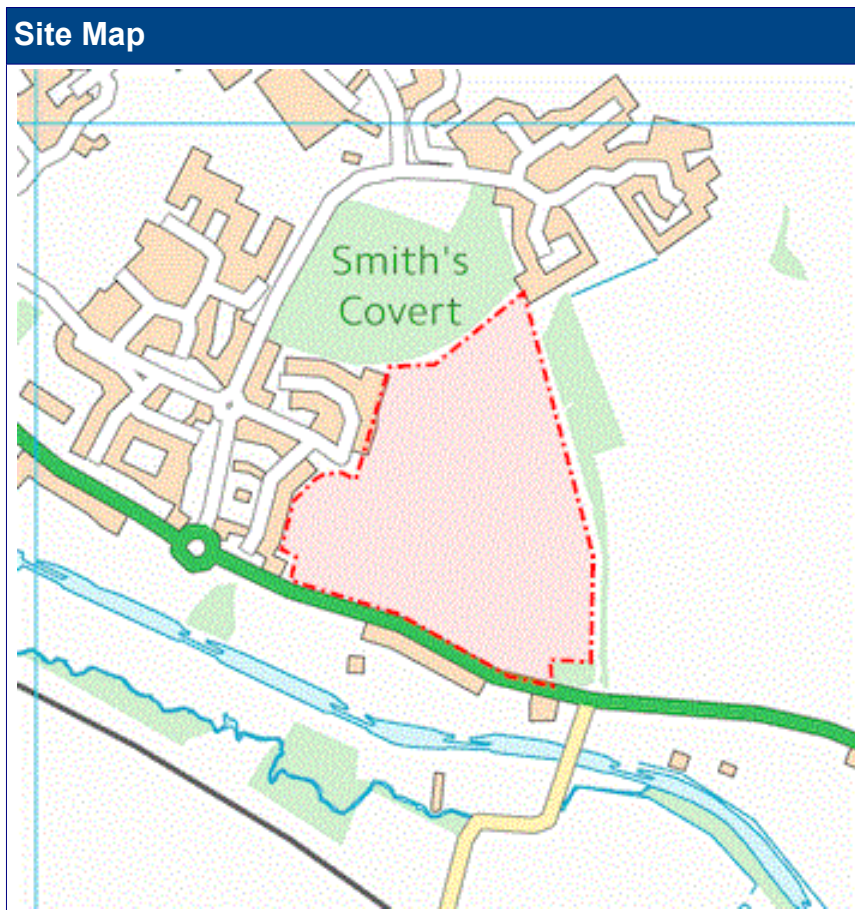


APPENDIX H

Enquirer			
Name	Mr Andy Roberts	Phone	01530264753
Company	M-EC	Mobile	Not Supplied
		Fax	Not Supplied
Address	Wellington House Leicester Road Ibstock Leicestershire LE67 6HP		
Email	andrew.roberts@m-ec.co.uk		
Notes	Please ensure your contact details are correct and up to date on the system in case the Asset Owners need to contact you. Where Asset Owners charge for plans they have been requested to send you a quote before proceeding.		

Enquiry Details			
Scheme/Reference	20586		
Enquiry type	Initial Enquiry	Work category	Development Projects
Start date	27/03/2016	Work type	Housing
End date	27/03/2017	Site size	77324 metres square
Searched location	XY= 425425, 266585 Easting/Northing	Work type buffer*	25 metres
Confirmed location	425419 266621		

* The WORK TYPE BUFFER is a distance added to your search area based on the Work type you have chosen



Asset Owners

Subject always to our standard terms and conditions, this enquiry result is valid for 28 days only from the date of enquiry and is based on the confirmed information you entered. If the location of the work changes then a further enquiry must be made. Should the work not be undertaken within 28 days of the enquiry then a further enquiry must be made.

Where applicable listed below are those registered Asset Owners who have been notified, those to whom you need to send further information and those who have no apparatus within your search area. In addition your response will include other non-registered Asset Owners contact details who have NOT been notified, which may be of interest to you.

Please be aware that the lists below are not exhaustive and that not all Asset Owners are registered with this service. In particular please note that the LineSearchbeforeUdig system only contains information on National Grid's Gas above 2 bar asset and all National Grid Electricity Transmission asset. For National Grid Gas below 2 bar asset information please go to www.beforeudig.nationalgrid.com

If you are required to email additional info please note that we need the following: Site contact name and number, Location plan, Detailed plan (minimum scale 1:2500), Cross sectional drawings (if available), Work Specification.

Asset Owners who DO have assets near your proposed work site.

In the Zone of Interest			
Asset Owner	Phone/Email	Emergency Only	Status
Western Power Distribution	01216239780	01216239780	Notified

LineSearchbeforeUdig Asset Owners who DO NOT have assets in the immediate vicinity of your proposed work site.

Not in the Zone of Interest		
AWE Pipeline	Gamma	Perenco UK Limited (Purbeck Southampton Pipeline)
BOC Limited (A Member of the Linde Group)	Government Pipelines & Storage System	Phillips 66
BP Midstream Pipelines	Humbly Grove Energy	Premier Transmission Ltd (SNIP)
BPA	HV Cables	RWEnpower (Little Barford and South Haven)
Centrica Energy	IGas Energy	SABIC UK Petrochemicals
Centrica Storage Ltd	Ineos Enterprises Limited	Scottish Power Generation
ConocoPhillips (UK) Ltd	INEOS Manufacturing (Scotland and TSEP)	Seabank Power Ltd
Coryton Energy Co Ltd (Gas Pipeline)	Lark Energy	Shell Pipelines
CSP Fibre c/o Centara	Lightsource SPV Limited	Spiecapag UK Limited (Carrington)
EirGrid	Mainline Pipelines Limited	Total (Finaline, Colnbrook & Colwick Pipelines)
Electricity North West Limited	Manchester Jetline Limited	Transmission Capital
E-on UK Plc (Gas Pipelines Only)	Marchwood Power Ltd (Gas Pipeline)	Vattenfall
ESP Utilities Group	National Grid Gas (above 2 bar) and National Grid Electricity Transmission	Wingas Storage UK Ltd
ESSAR	Northumbrian Water Group	Zayo Group UK Ltd c/o JSM Group Ltd
Esso Petroleum Company Limited	NPower CHP Pipelines	
FibreSpeed Limited	Oikos Storage Limited	

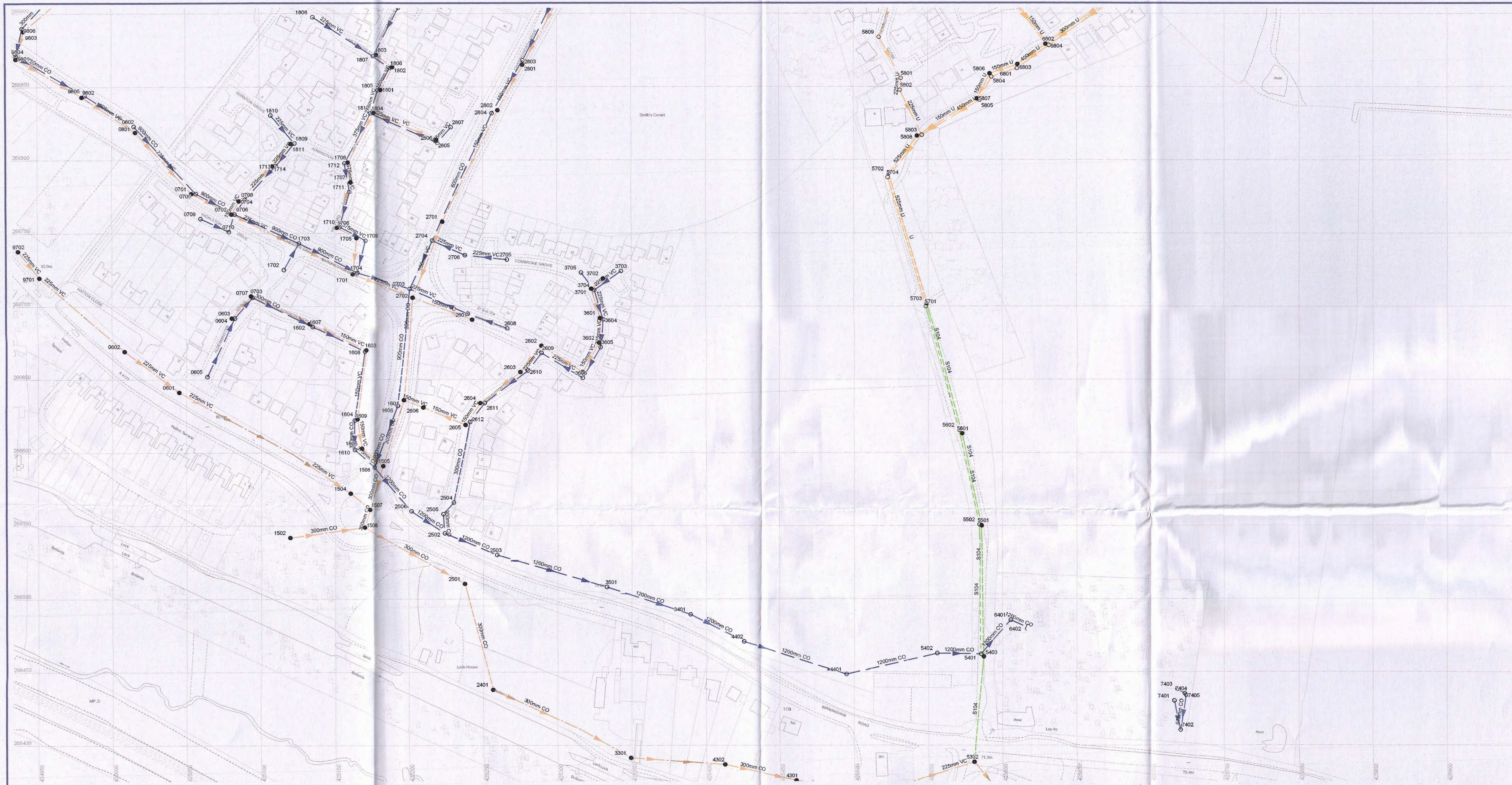
The following Asset Owners are NOT currently members of LineSearchbeforeUdig, however you should contact them before proceeding. Please be aware that this list is not exhaustive and that **IT IS YOUR RESPONSIBILITY TO IDENTIFY AND CONTACT ALL ASSET OWNERS WITHIN YOUR SEARCH AREA.**

Not Notified			
Asset Owner	Preferred contact method	Phone	Status
BskyB Telecommunications	nrswa@bskyb.com	02070323234	Not Notified
BT	https://www.swns.bt.com/pls/mbe/welcome.home	08009173993	Not Notified
Colt	plantenquiries@catelecomuk.com	01227768427	Not Notified
Energetics Electricity	plantenquiries@energetics-uk.com	01698404646	Not Notified
Fulcrum	FPLplantprotection@fulcrum.co.uk	03330146455	Not Notified
GTC	https://pe.gtc-uk.co.uk/PlantEnqMembership	01359240363	Not Notified
Instalcom	plantenquiries@instalcom.co.uk	02087314613	Not Notified
Interoute	interoute.enquiries@plancast.co.uk	02070259000	Not Notified
National Grid Gas Distribution (below 2 bar)	plantprotection@nationalgrid.com	0800688588	Not Notified
Severn Trent Water	http://www.stwater.co.uk/category/118	01214523306	Not Notified
Tata, KPN (c/- McNicholas)	plantenquiries@mcnicholas.co.uk	03300558469	Not Notified
Verizon Business	osp-team@uk.verizonbusiness.com	01293611736	Not Notified
Virgin Media	http://www.digdat.co.uk	08708883116	Not Notified
Vodafone	osm.enquiries@atkinglobal.com	01454662881	Not Notified
Vtesse Networks	https://vtplant.vtesse.com	01992532100	Not Notified
Warwickshire CC (St Lighting)	streetlighting@warwickshire.gov.uk	01926736573	Not Notified
Warwickshire CC (Traffic Signals)	trafficsignals@warwickshire.gov.uk	01926412810	Not Notified

Disclaimer

The results of this Enquiry have been provided for the sole use of the Enquirer and no other party. The asset information on which the Enquiry results are based has been provided by LineSearchbeforeUdig members, LineSearchbeforeUdig will provide no guarantee that such information is accurate or reliable nor does it monitor such asset information for accuracy and reliability going forward. There are also asset owners which do not participate in the enquiry service operated by LineSearchbeforeUdig, including but not exclusively those set out above. Therefore, LineSearchbeforeUdig cannot make any representation or give any guarantee or warranty as to the completeness of the information contained in the enquiry results.

LineSearchbeforeUdig and its employees, agents and consultants accept no liability (except insofar as liability under any statute that cannot be excluded) arising in respect thereof or in any other way for errors or omissions including responsibility to any person by reason of negligence. Please refer to LineSearchbeforeUdig's Terms of Use for full terms of use available at www.linesearchbeforeudig.co.uk



<ul style="list-style-type: none"> Abandoned Sewer Private Combined Gravity Sewer Private Foul Gravity Sewer Private Surface Water Gravity Sewer Public Combined Gravity Sewer Public Foul Gravity Sewer Public Surface Water Gravity Sewer Trunk Combined Gravity Sewer Trunk Foul Use Gravity Sewer Trunk Surface Water Gravity Sewer Combined Use Pressurised Sewer Foul Use Pressurised Sewer Surface Water Pressurised Sewer Highway Drain Combined Lateral Drain (SS) Foul Lateral Drain (SS) Surface Water Lateral Drain (SS) 	<ul style="list-style-type: none"> Cable, Earthing Cable Junction Cable, Optical Fibre/Instrumentation Cable, Low Voltage Cable, High Voltage Cable, Other Housing, Building Housing, Kiosk Disposal Site Sewage Treatment Works Housing, Other Pipe Support Structure Sewage Pumping Facility Sewer Facility Connection Inlet / Outlet 	<ul style="list-style-type: none"> Blind Shaft Combined Use Manhole Flushing Chamber Foul Use Manhole Grease Trap Head Node Hydrobrake Lamphole Overflow Penstock Petrol Interceptor 	<ul style="list-style-type: none"> Sewer Chemical Injection Point Sewer Junction Sewerage Air Valve Sewerage Hatch Box Point Sewerage Isolation Valve Soakaway Surface Water Manhole Vent Column Waste Water Storage Culverted Watercourse Pre-1937 Properties
--	---	--	--

CATEGORIES

- W - WEIR
- C - CASCADE
- DB - DAMBOARD
- SE - SIDE ENTRY
- FV - FLAP VALVE
- BD - BACK DROP
- S - SIPHON
- HD - HIGHWAY DRAIN
- S104 - SECTION 104

All Private Sewers are shown in magenta
 All section 104 sewers are shown in green
 All sewers that have been transferred to Severn Trent Water after the 1st October 2011, but have not been surveyed and confirmed by Severn Trent Water are shown in orange

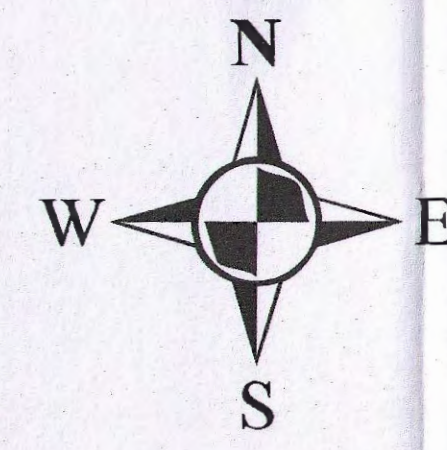
Severn Trent Water Limited
Asset Data Management
PO Box 5344
Coventry
CV3 9FT
Telephone: 0845 601 6616

SEWER RECORD

O/S Map 1:1250
Scale:
Date of issue: 30.03.15

This map is centred upon:
 O / S Grid reference:
x : 425440
y : 266639

Disclaimer Statement:
 1. Do not scale off this Map.
 2. This map and any information supplied with it is furnished as a general guide, is only valid at the date of issue and no warranty as to its correctness is given or implied. In particular this Map and any information shown on it must not be relied upon in the event of any development or works (including but not limited to excavations) in the vicinity of Severn Trent Water's assets or for the purposes of determining the suitability of a point of connection to the sewerage or distribution systems.
 3. On 1 October 2011 most private sewers and private lateral drains in Severn Trent Water's sewerage area, which were connected to a public sewer as at 1 July 2011, transferred to the ownership of Severn Trent Water and became public sewers and public lateral drains. A further transfer takes place on 1 October 2012 (date to be confirmed). Private pumping stations, which form part of these sewers or lateral drains, will transfer to the ownership of Severn Trent Water on or before 1 October 2016. Severn Trent Water does not possess complete records of these assets. These assets may not be displayed on this Map.
 4. Reproduction by permission of Ordnance Survey on behalf of HMSO. © Crown Copyright and database right 2004. All rights reserved. Ordnance Survey licence number 100018202. Document users other than Severn Trent Water business users are advised that this document is provided for reference purpose only and is subject to copyright, therefore, no further copies should be made from it.

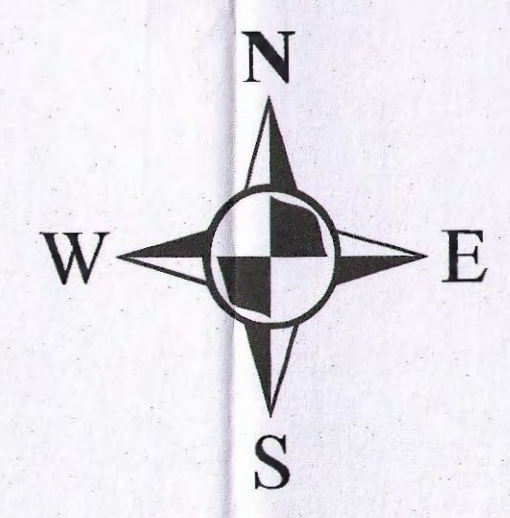





<ul style="list-style-type: none"> Distribution Main Trunk Main (local/primary) Strategic Main Fire Supply Main Fire Main Non-Domestic Customer Service Pipe Domestic Customer Service Pipe Abandoned Main Elevated Main Aqueduct Duct Cable, Earthing Cable, Optical Fibre/Instrumentation Cable, Low Voltage Cable, High Voltage Cable, Other 	<ul style="list-style-type: none"> Pumping Facility Booster Facility Potable Water Storage Water Tower Well / Borehole Intake Water Treatment Works / Chamber Draw-off Tower Bowser Point Water Facility Connection 	<ul style="list-style-type: none"> Water Isolation Valve (Closed) Water Isolation Valve (Open) Water Isolation Valve (Partially Open) Water Air Valve Pressure Reducing Valve Pressure Sustaining Valve Non-Return Valve Float Valve Hydrant (Single/Double) Washout (Single/Double) Bulk Meter Water Hatch Box Pressure Tapping Insertion Flow Meter Point 	<ul style="list-style-type: none"> Water Chemical Injection Point Motive Water Point Quality Sample Point Change In Characteristic Marker Post Cable Junction Anode Boundary Box Stop tap Cross Piece Strainer Listening Post Revenue Meter 	<ul style="list-style-type: none"> Housing, Building Housing, Kiosk Housing, Other Pipe Support Structure Open Pipe Discharge End Cap SSSI Area Protective Strip Pre-1937 Properties
---	---	---	--	--

MATERIALS	
AC	- ASBESTOS CEMENT
AK	- ALKATHENE
C	- CONCRETE
CI	- CAST IRON
CU	- COPPER
GF	- GLASS FIBRE
GRC	- GLASS REINFORCED CONCRETE
GRP	- GLASS REINFORCED PLASTIC
HDPE	- HIGH DENSITY POLY
HPPE	- HIGH PERFORMANCE POLY
LDPE	- LOW DENSITY POLY
LEAD	- LEAD
MDPE	- MEDIUM DENSITY POLY
O	- OTHER
PC	- PRE-STRESSED CONCRETE
PF	- PITCH FIBRE
PP	- POLY PROPYLENE
PSC	- PLASTIC STEEL COMPOSITE
PVC	- POLY VINYL CHLORIDE
EPDM	- REINFORCED PLASTIC MATRIX
SI	- SPUN IRON
SST	- STAINLESS STEEL
ST	- STEEL
UPVC	- UNPLASTICISED PVC

LINING	
BI	- BITUMEN
CL	- CEMENT
PL	- PLASTIC
RL	- RESIN
O	- OTHER





Severn Trent Water Limited
Asset Data Management
PO Box 5344
Coventry
CV3 9FT
Telephone: 0845 601 6616

WATER MAINS RECORD

O/S Map 1:1250
Scale:
Date of issue: 30.03.15

This map is centred upon:
O / S Grid reference:
x : 425440
y : 266639

Disclaimer Statement

- Do not scale off this Map.
- This plan and any information supplied with it is furnished as a general guide, is only valid at the date of issue and no warranty as to its correctness is given or implied. In particular this plan and any information shown on it must not be relied upon in the event of any development or works (including but not limited to excavations) in the vicinity of SEVERN TRENT WATER assets or for the purposes of determining the suitability of a point of connection to the sewerage or distribution systems.
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Contact Us

Mapping Enquiries:
All areas 0121 623 9780

General Enquiries:
Midlands 0845 724 0240
South Wales 0845 601 3341
South West 0845 601 2989

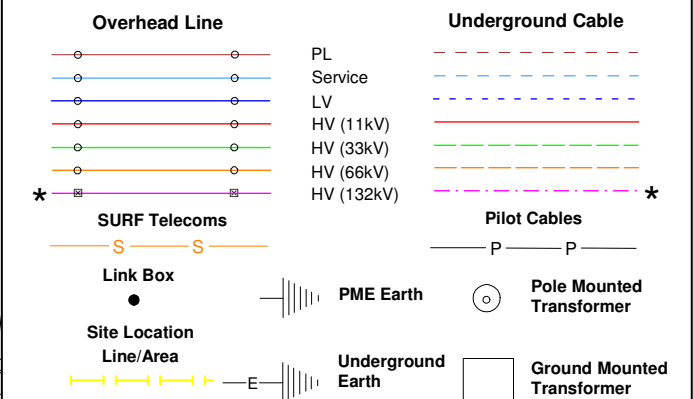
Date Requested: 27/03/2015
Job Reference: 6620583
Site Location: 425416 266621
Requested by: Mr Andy Roberts
Your Scheme/Reference: 20586

IMPORTANT NOTICES

- These plans are provided as a general guide only. Services or recent additions to the network may not be shown.
- Cables, overhead lines & substations owned by other electricity network owners or private companies may be present but will not be shown.
- You should always verify exact locations of cables using a cable locator and by careful use of hand tools in accordance with HSE guidance note HSG47.
- When working within 10m of any overhead electric line you should follow the requirements of HSE Guidance Note GS6.
- For further advice on working near our electricity cables or lines, call our Contact Centre on 0800 096 3080.

Report damage immediately – KEEP EVERYONE AWAY FROM THE AREA

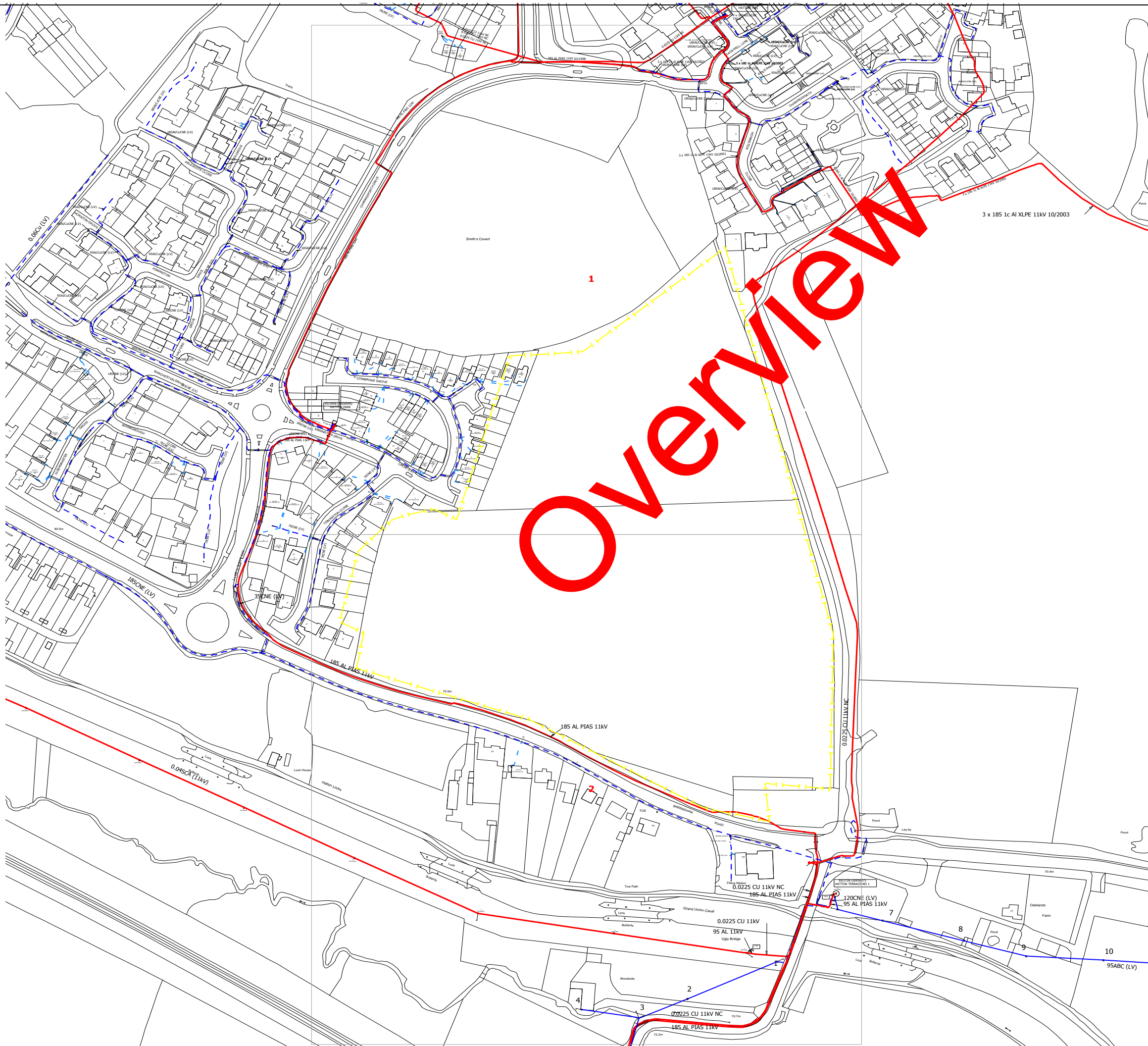
0800 6783 105



*Advice should be sought from the Western Power Distribution Contact Centre for any work that is to take place in proximity to 132kV underground cables and 132kV overhead lines – 0800 096 3080

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Overview



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All areas 0121 623 9780

General Enquiries:

Midlands 0845 724 0240
 South Wales 0845 601 3341
 South West 0845 601 2989

Date Requested: 27/03/2015

Job Reference: 6620583

Site Location: 425416 266621

Requested by: Mr Andy Roberts

Your Scheme/Reference: 20586

1:1250 Area or Circle dig site

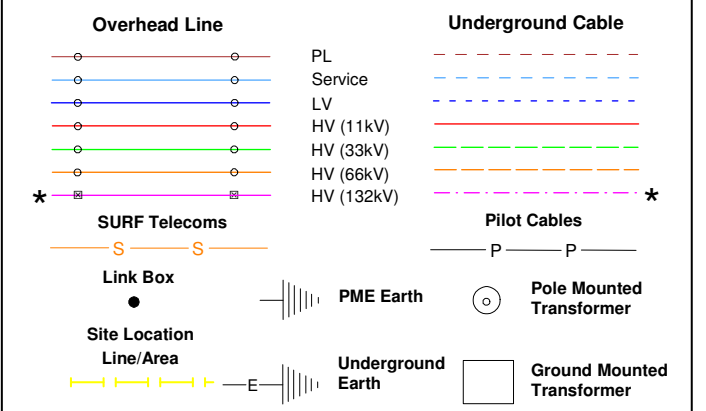
1:500 Line dig site

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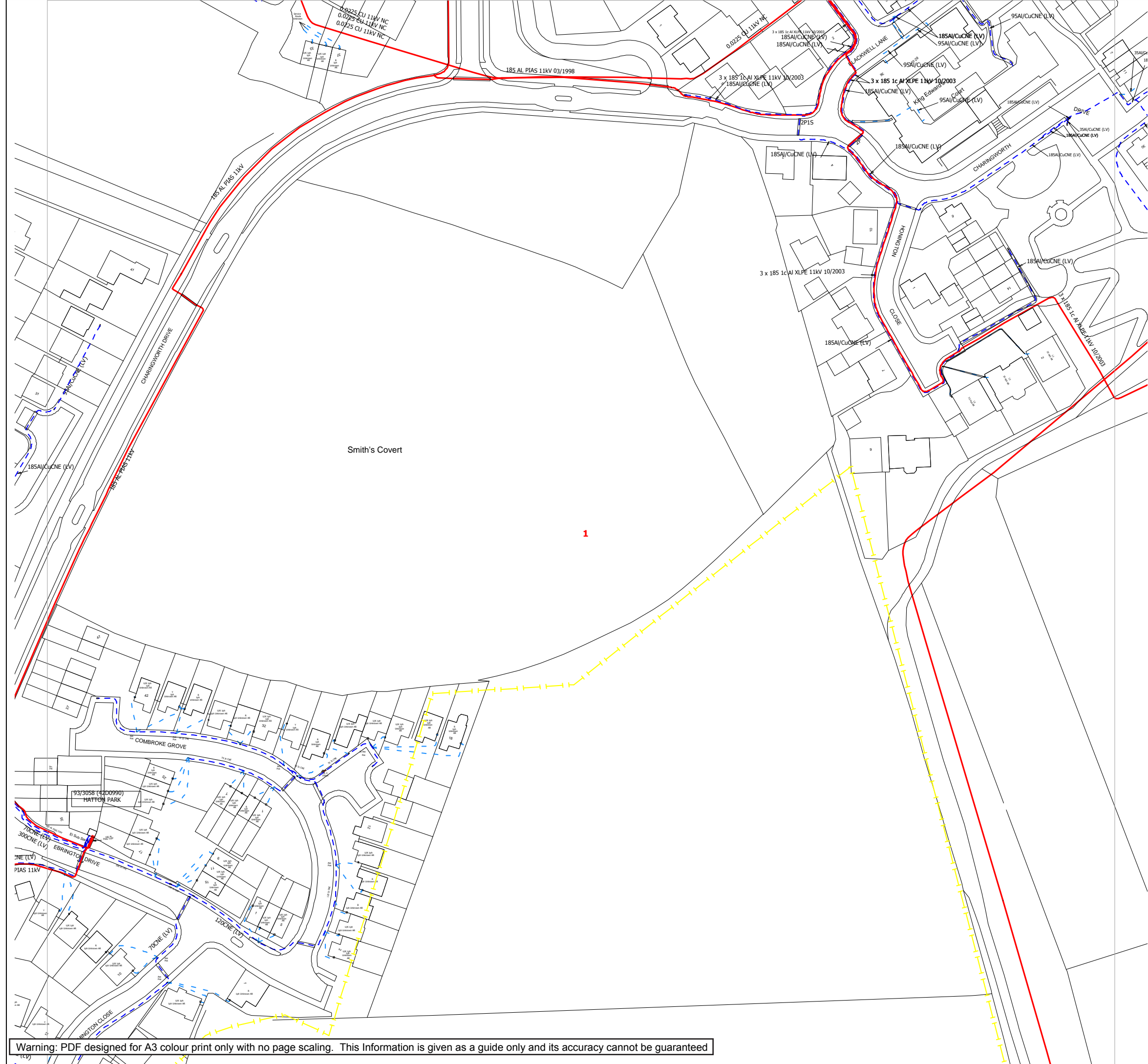
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Contact Us

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All areas	0121 623 9780	Midlands	0845 724 0240
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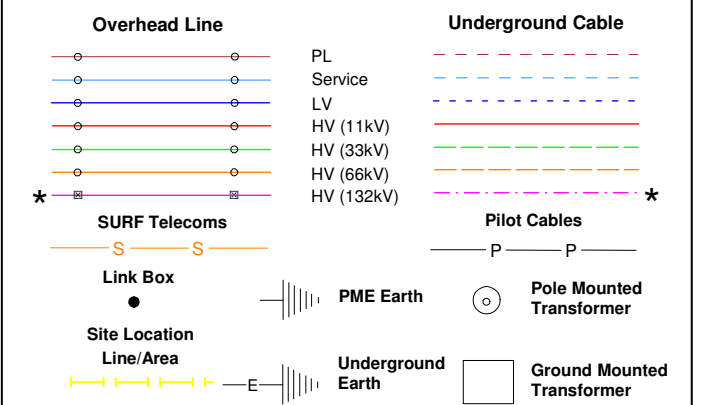
1:1250 Area or Circle dig site
 1:500 Line dig site

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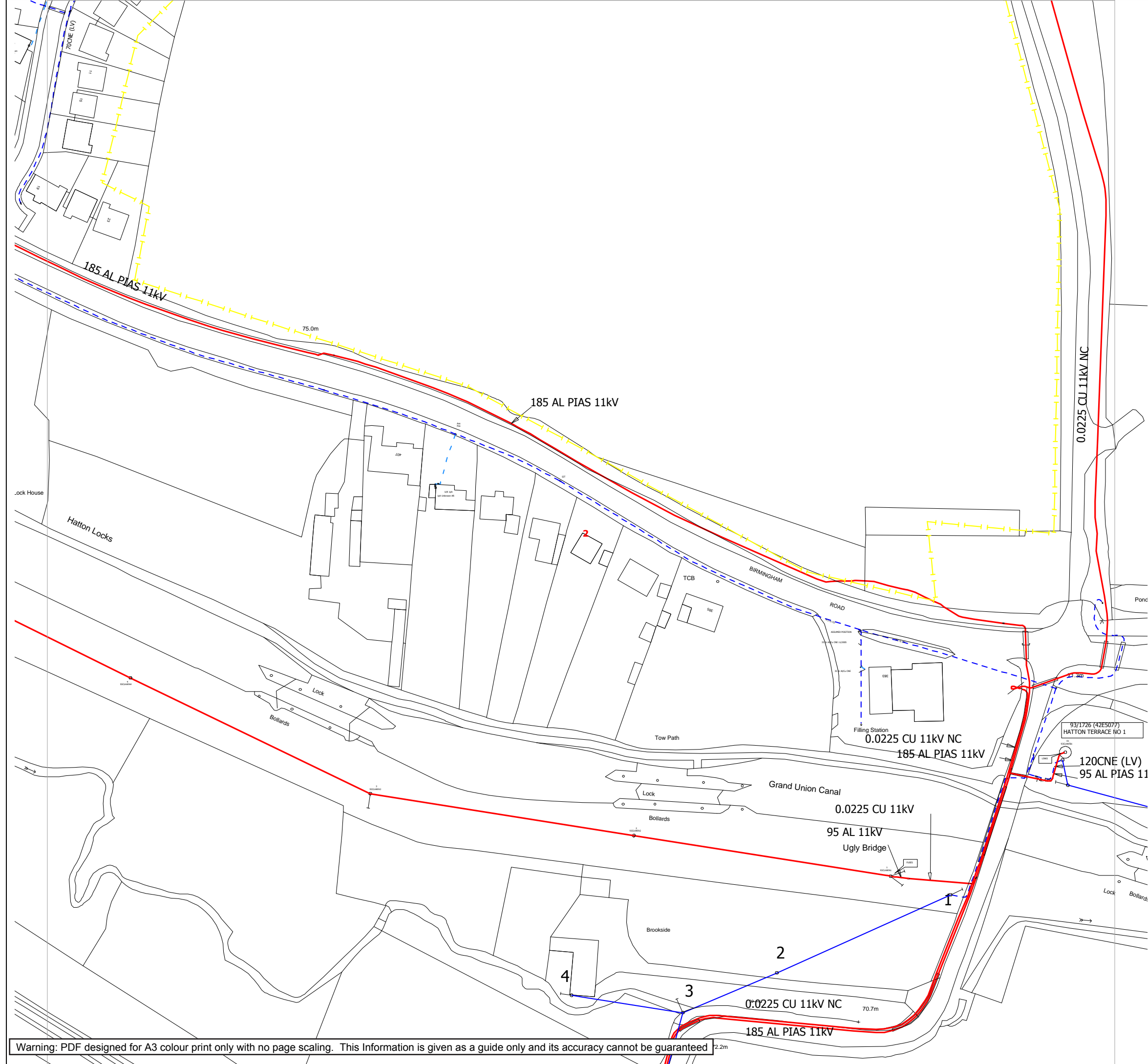
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Maps by email Plant Information Reply



IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.

DIAL BEFORE YOU DIG

FOR PROFESSIONAL ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS

ADVANCE NOTICE REQUIRED
(Office hours: Monday-Friday 08.00 to 17.00)

Tel: 0800 9173993
E-mail: dbyd@openreach.co.uk
Website: www.dialbeforeyoudig.com

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KEY TO BT SYMBOLS

	UNDERGROUND PLANT		POLE
	OVERHEAD PLANT		CABINET
	JOINT BOX		BURIED JOINT
	DISTRIBUTION POINT		JOINTING POST
	MANHOLE		PROPOSED U/G
	DP BOUNDARY		PROPOSED O/H
	OTHER BT BOUNDARY		PROPOSED BOX

Other proposed plant is shown using dashed lines. BT symbols not listed above may be disregarded. Existing BT plant may not be recorded. Information valid at the time of preparation.

openreach
a BT Group business

BT Ref : ZFA10546F

Map Reference : (centre) SP2542566585

Easting/Northing : (centre) 425425,266585

Issued : 27/03/2015 10:55:18

FOOTNOTE: WARNING IT IS ESSENTIAL THAT YOU CONTACT NATIONAL NETWORK HANDLING CENTRE BY EMAIL nnhc@openreach.co.uk BEFORE PROCEEDING WITH ANY WORK IN THE HATCHED AREA



Victoria Jarvis
M-EC Consulting Development Engineers
Wellington House..
Leicester Road
Ibstock
Leicestershire
LE67 6HP

Plant Protection
National Grid
Block 1; Floor 1
Brick Kiln Street
Hinckley
LE10 0NA
E-mail: plantprotection@nationalgrid.com
Telephone: +44 (0)800 688588

**National Grid Electricity Emergency Number:
0800 40 40 90***

**National Gas Emergency Number:
0800 111 999***

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 28/03/2015

Our Ref: WM_TW_Z3_3SWP_142012

Your Ref: 20586

RE: Proposed Works, Birmingham Road, Hatton, Warwickshire.

Thank you for your enquiry which was received on 27/03/2015.

Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website

(<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

As your works are at a "proposed" stage, any maps and guidance provided are for information purposes only. This is not approval to commence work. You must submit a "Scheduled Works" enquiry at the earliest opportunity and failure to do this may lead to disruption to your plans and works. National Grid will endeavour to provide an initial assessment within 14 days of receipt of a Scheduled Works enquiry and dependent on the outcome of this, further consultation may be required.

In any event, for safety and legal reasons, works must not be carried out until a Scheduled Works enquiry has been completed and final response received.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT** include:

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- Low or Medium pressure (below 2 bar) gas pipes and associated equipment. (As a result it is highly likely that there are gas services and associated apparatus in the vicinity)
- Above ground gas sites and equipment

Requirements

BEFORE carrying out any work you must:

- **Note the presence of an Above Ground Installation (AGI) in proximity to your site. You must ensure that you have been contacted by National Grid prior to undertaking any works within 10m of this site.**
- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

Excavating Safely - Avoiding injury when working near gas pipes:

http://www.nationalgrid.com/NR/rdonlyres/2D2EEA97-B213-459C-9A26-18361C6E0B0D/25249/Digsafe_leaflet3e2finalamends061207.pdf

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www2.nationalgrid.com/WorkArea/DownloadAsset.aspx?id=35103>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

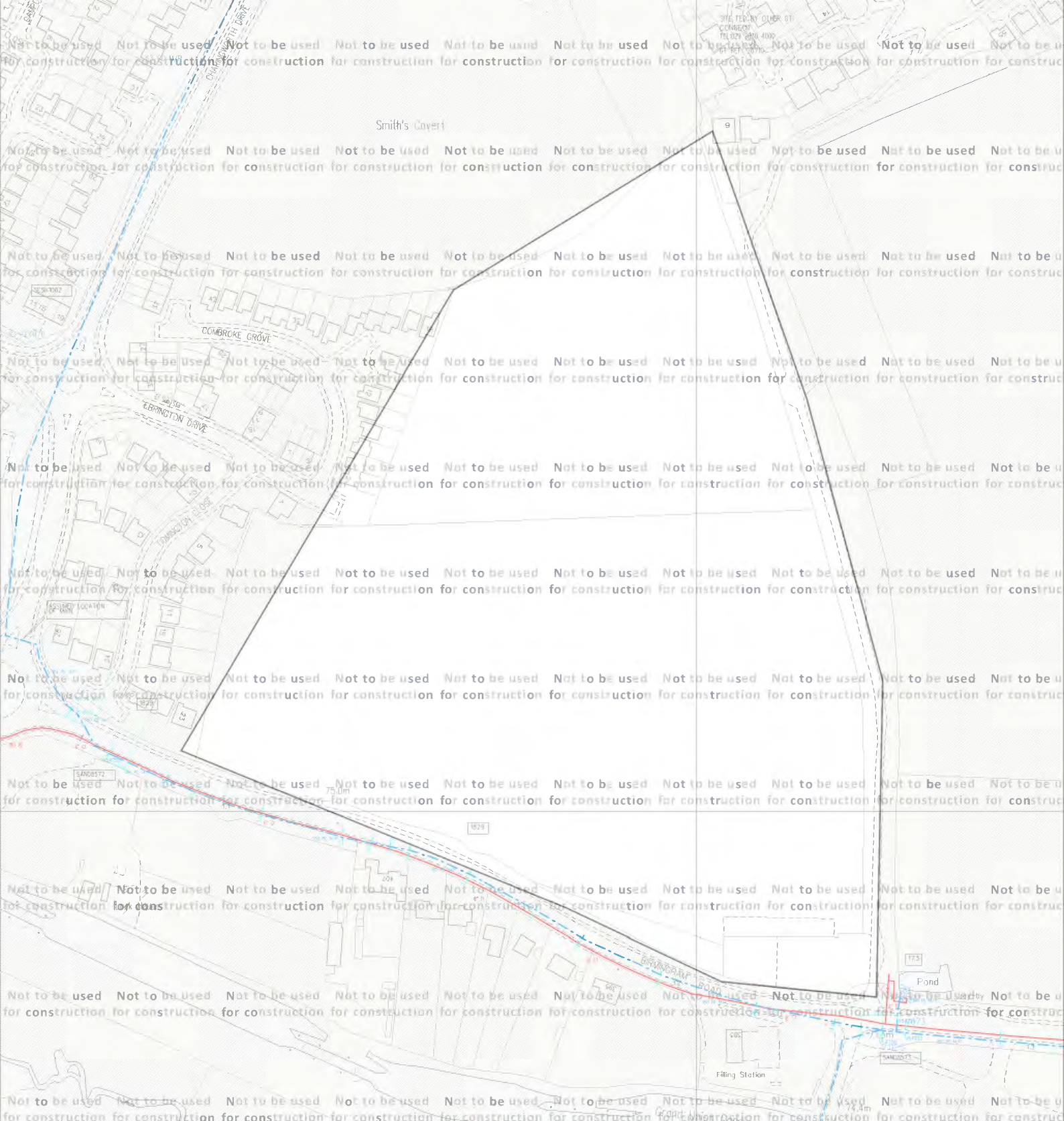
<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>

Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>



ID: WM_TW_Z3_3SWP_142012		View extent: 505m, 545m	Map not to be used for construction
USER: ros.jones	LP MAINS		MAPS Plot Server Version 1.8.0 Requested by: M-EC Consulting Development Engineers Map 1 of 1 (GAS)
DATE: 28/03/2015	MP MAINS		
DATA DATE: 26/03/2015	IP MAINS		
REF: 20586	LHP MAINS		
MAP REF: SP2566	NHP MAINS		
CENTRE: 425422, 266620	0m 50m Approximate scale 1:2500 on A4 Colour Portrait		
Valve Depth of Cover Syphon Diameter Change Material Change	This plan is reproduced from or based on the OS map by National Grid Gas plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Ordnance Survey Licence number 100024886		

This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

ENQUIRY SUMMARY

Received Date

27/03/2015

Your Reference

20586

Location

Centre Point: 425422, 266620

X Extent: 334

Y Extent: 419

Location Description: Birmingham Road, Hatton, Warwickshire.

Map Options

Paper Size: A4

Orientation: PORTRAIT

Requested Scale: 2500

Actual Scale: 1:2500 (GAS)

Real World Extents: 505m x 545m (GAS)

Recipients

pprsteam@nationalgrid.com

Enquirer Details

Organisation Name: M-EC Consulting Development Engineers

Contact Name: Victoria Jarvis

Email Address: Victoria.Jarvis@m-ec.co.uk

Telephone: 01530 264753

Address: Wellington House..., Leicester Road, Ibstock , Leicestershire, LE67 6HP

Description of Works

Development at Birmingham Road, Hatton

Enquiry Type

Proposed Works

Activity Type

Development Project

Work Types

Work Type: Plans Only

Network Enquiry No : 180002755
Your Reference : 20586

nationalgrid

National Gas Emergency Service - 0800 111 999* (24hrs)
*calls will be recorded and may be monitored

Victoria Jarvis
M-EC
WELLINGTON HOUSE
LEICESTER ROAD
IBSTOCK, LEICESTERSHIRE
LE67 6HP

Date : 7th April 2015
Contact : Performance and Support
Direct Tel : 0845 3666758
Direct Fax : 0845 0700868
Email : networkdesign@nationalgrid.com

www.nationalgrid.com

Dear Victoria,

Re: Land Enquiry for Proposed Development Site at NEW SUPPLY, BIRMINGHAM ROAD, HATTON, WARWICKSHIRE, CV35 7TF.

Thank you for your enquiry which we received on 27th March 2015. I enclose details of National Grid Gas plant in the vicinity of your proposed supply.

The nearest main with sufficient capacity is 12 metres from the site boundary and it is a Low Pressure main.

Standard design pressures have been used. Refer to www.nationalgrid.com.

Plans attached: Yes

A copy of the National Grid Connections Charging Statement referenced in this letter can be found on National Grid's website:

<http://www2.nationalgrid.com/uk/services/gas-distribution-connections/charging-statements/>

If you require a printed version please contact us on the details provided above.

I trust this meets with your requirements at this stage. If you have any queries please do not hesitate to contact Performance and Support on the above number.

Yours sincerely,



Adam Leeson
Design Specialist



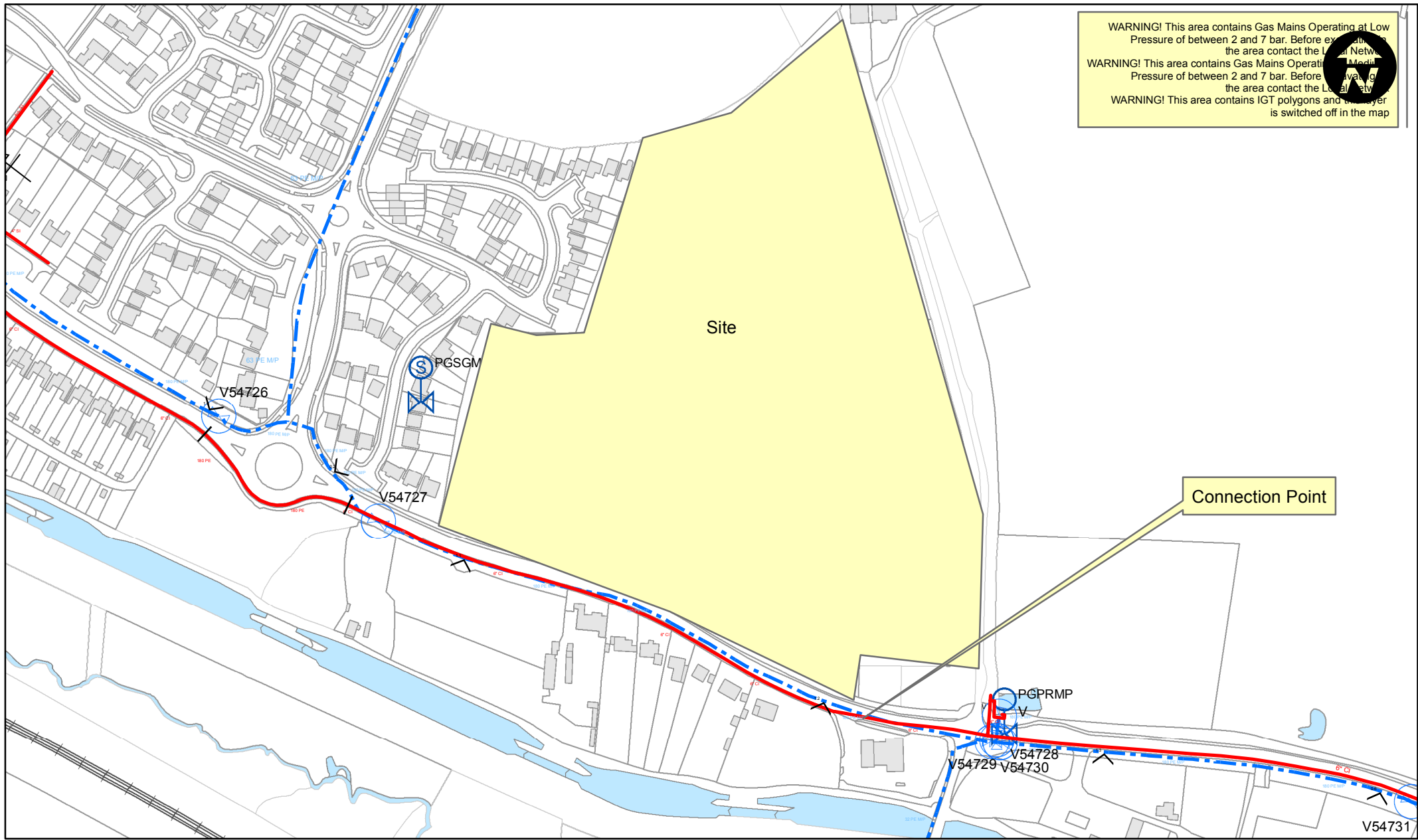
National Grid Gas plc
Registered No.2006000
Registered Address 1-3 Strand, London, WC2N 5EH

Letter Id: CRM013
Page 1 of 1

WARNING! This area contains Gas Mains Operating at Low Pressure of between 2 and 7 bar. Before excavating in the area contact the Local Network Operator (LNO).

WARNING! This area contains Gas Mains Operating at Medium Pressure of between 2 and 7 bar. Before excavating in the area contact the Local Network Operator (LNO).

WARNING! This area contains IGT polygons and the gas layer is switched off in the map.



Connection Point

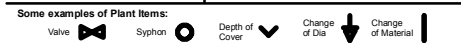
SCALE: 1:1,250 @ A4
 USER ID: olivia.edwards
 DATE: 31-Mar-2015 13:22:55
 INTERNAL USE ONLY
 MAP REF: 425424, 266585
 CENTRE:

L/P GAS MAIN
 M/P GAS MAIN
 I/P GAS MAIN
 H/P GAS MAIN
 N/H/P GAS MAIN
 PROPOSED PIPE - LP
 PROPOSED PIPE - MP
 PROPOSED PIPE - IP
 ABANDON - LP
 ABANDON - MP



SCHEME: <NG GDFO Scheme Name>
 DESIGN: <NG GDFO Design Number>
 REVISION: <NG GDFO Revision>

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180002755

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Civil Engineering

Drainage

Flood Risk

Transport

Highways

Structures

Geotechnics

Contamination

Sustainability

Environment

Services

Surveying



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Consulting **Development** Engineers